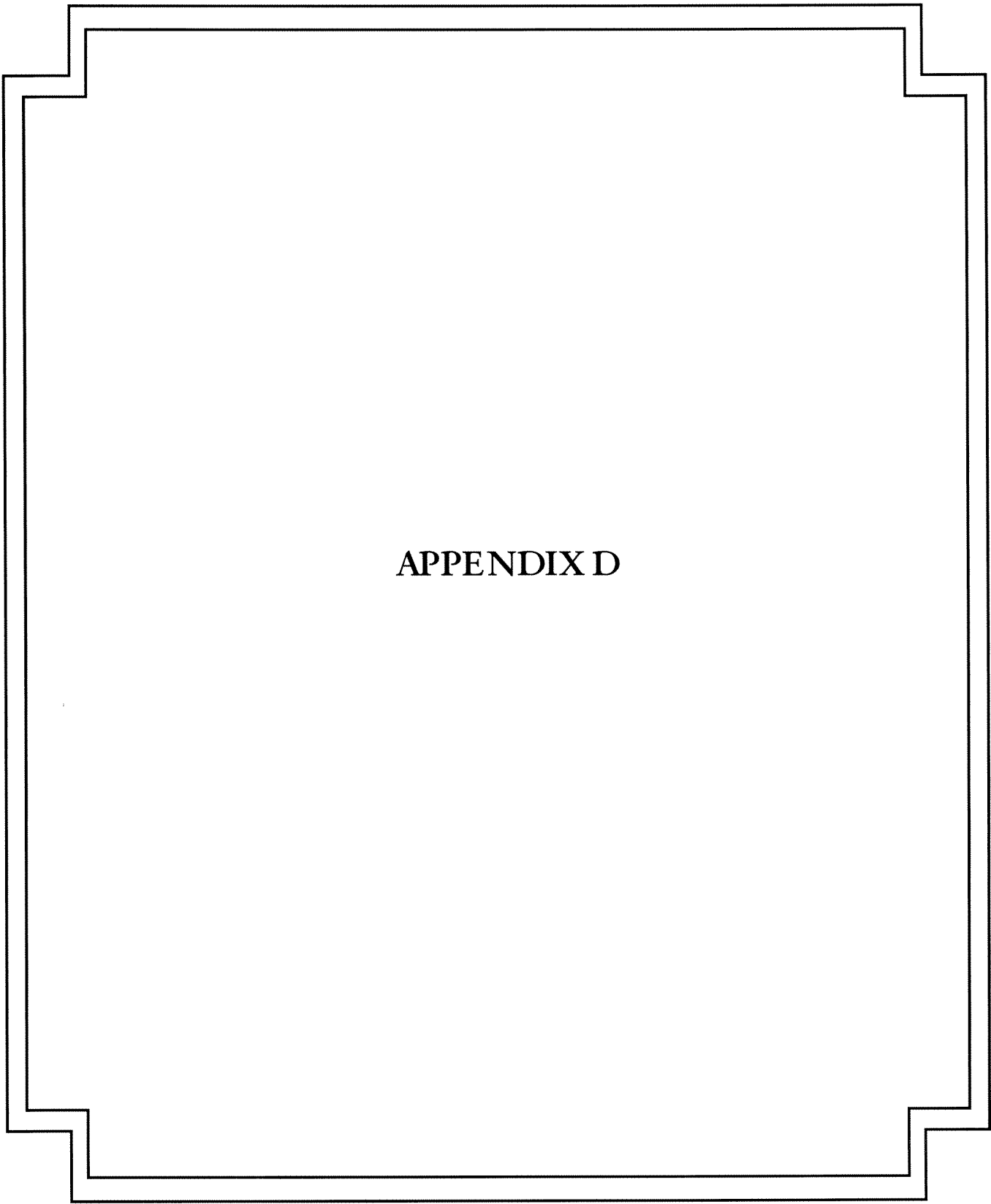




APPENDIX D

The map shows the site location relative to major roads. Veterans Hwy runs diagonally from the top left to the bottom right. Motor Parkway runs horizontally across the middle. A road labeled "LIE 495" runs vertically on the left. The site is a hatched area bounded by Veterans Hwy to the east and a road to the south. A north arrow is present in the upper right corner.

NOTE:
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KEY MAP
SCALE: 1" = 1000'

	EXISTING CURB
	PROPERTY LINE
	SETBACK LINE
	EXISTING SPOT ELEVATION
	EXIST. TOP CURB/ PAVEMENT ELEVATION
	EXISTING CONTOUR LINE
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING LIGHT
	EXISTING HYDRANT
	EXISTING CURB TO BE REMOVED
	EXISTING WATER MAIN
	EXISTING ELECTRIC LINE
	PROPOSED WATER SERVICE
	PROPOSED FIRE MAIN
	PROPOSED DOMESTIC MAIN
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED TELEPHONE LINE
	PROPOSED TELEPHONE LINE
	TRIBUTARY DRAINAGE SHED AREA
	PROPOSED SAWCUT
	SURFACE RUNOFF FLOW ARROW
	PROPOSED ROOF DRAIN
	PROPOSED CURB
	PROPOSED SPOT ELEVATION
	PROPOSED TOP CURB/ PAVEMENT ELEVATION
	PROPOSED ELEVATION OF BACK OF WALK
	PROPOSED CONTOUR LINE
	PROPOSED PARKING STALL COUNT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BUILDING ENTRANCE/ OVERHEAD DOOR
	PROPOSED DRAINAGE LEACHING POOL
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED SITE LIGHTING
	PROPOSED TREE
	PROPOSED SHRUB
	PROPOSED SIGN
	PROPOSED TREE CLEARING LINE
	PROPOSED SILT FENCE
	PROPOSED SPLIT RAIL FENCE
	PROPOSED CONSTRUCTION FENCE
	PROPOSED RETAINING WALL
	PROPOSED INLET PROTECTION

WATER:	SUFFOLK COUNTY WATER AUTHORITY	TELEPHONE:	VERIZON
	260 MOTOR PARKWAY		501 N. OCEAN AVENUE
	HAUPPAUGE, NEW YORK 11787		PATCHOGUE , NEW YORK 11772
	PHONE: (631) 582-2211		PHONE: (631) 890-1400
ELECTRIC:	LIPA	SANITARY:	SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICE
	117 DOCTOR'S PATH RD. RD 2		360 YAPHANK AVENUE
	RIVERHEAD, NEW YORK 11901		YAPHANK, NY 11980
	PHONE: (516) 548-7029		PHONE: (631) 852-2100
GAS:	KEYSPAN	ROADS:	SUFFOLK COUNTY DEPARTMENT OF PUBLIC WORKS
	1393 VETERANS HIGHWAY		335 YAPHANK AVENUE
	HAUPPAUGE, NEW YORK 11788		YAPHANK, NY 11980
			NEW YORK STATE DEPARTMENT OF TRANSPORTATION
			250 VETERANS MEMORIAL HIGHWAY
			HAUPPAUGE, NY 11788

OWNER / APPLICANT
MOTOR PARKWAY ASSOCIATES, LLC
P.O. BOX 603
DEEP PARK NY, 11729

1. NELSON & POPE ENGINEERS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.
3. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF ISLANDIA, SUFFOLK COUNTY OR AS SPECIFIED HEREIN, LATEST EDITIONS.
4. INSTALLATION OF ELECTRIC AND GAS SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM, AS A MINIMUM TO THE REQUIREMENTS OF LIPA/KEYSPAN.
5. INSTALLATION OF TELEPHONE SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM, AS A MINIMUM, TO THE REQUIREMENTS OF VERIZON.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR INSTALLATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS FOR PRE-CONSTRUCTION OF ANY SANITARY SYSTEM FROM ALL GOVERNING AGENCIES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL THE UTILITY OR MUNICIPAL AGENCY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY AND FOR THE INSTALLATION OF SIGNS.
8. UNSUITABLE MATERIAL (AS DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS EDITION) UNDER PAVEMENT, WALKS AND CONCRETE SLABS, SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL.
9. SELECT GRANULAR MATERIAL SHALL BE AS DEFINED IN SECTION 203 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS.
10. COMPACTION SHALL CONFORM TO N.Y.S.D.O.T. SECTION 203.
11. ALL CONCRETE CURB, SIDEWALK AND DRAINAGE STRUCTURES SHALL CONFORM TO THE VILLAGE OF ISLANDIA PLANNING BOARD STANDARD DETAILS AND SPECIFICATIONS. REFER TO HIGHWAY WORK PERMIT PLANS FOR WORK WITHIN COUNTY AND STATE R.O.W.S PREPARED BY OTHERS.
12. THE VILLAGE OF ISLANDIA PLANNING BOARD SHALL BE NOTIFIED 48 HRS. IN ADVANCE OF ALL CONSTRUCTION.
13. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
14. ELEVATIONS REFER TO NGVD DATUM.
15. ALL DRAINAGE LEACHING POOLS SHALL BE PRECAST, WITH PRECAST OPENINGS AND/OR KNOCKOUT PANELS FOR DRAINAGE PIPE(S) AND SHALL CONFORM TO THE VILLAGE OF ISLANDIA STANDARDS DETAILS AND SPECIFICATIONS.
16. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ROOF LEADERS, CONCRETE SLABS, VESTIBULE, SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
17. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY TO REMOVE ANY EXCAVATED AND DEMOLISHED MATERIALS.
18. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR SITE CLEARING AND GRUBBING.

1. ALL CONCRETE CURBING, SIDEWALKS AND DRAINAGE STRUCTURES SHALL CONFORM TO VILLAGE STANDARD DETAILS AND SPECIFICATIONS.
2. THE VILLAGE SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION.
3. HORIZONTAL LOCATION, HORIZONTAL ALIGNMENT, VERTICAL ALIGNMENT AND VERTICAL GRADE FOR CURBS AND WALKS SHALL BE VERIFIED WITH THE VILLAGE, SUFFOLK COUNTY DEPARTMENT OF PUBLIC WORKS AND NYSDOT PRIOR TO CONSTRUCTION.
4. ALL TRAFFIC CONTROL DEVICES, I.E. SIGNS AND PAVEMENT MARKINGS, SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DESIGNATED BY THE VILLAGE.
5. THE CONTRACTORS PERFORMING ANY AND ALL TRAFFIC CONTROL DEVICES LAYOUT AND INSTALLATION WORK SHALL NOTIFY THE VILLAGE 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A VILLAGE ROAD.
6. ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC (NYSDOT SPECIFICATIONS) UNLESS OTHERWISE NOTED ON THE PLAN.

1 OF 20	COVER SHEET
2 OF 20	MASTER PLAN
3 OF 20	PARTIAL ALIGNMENT PLAN I
4 OF 20	PARTIAL ALIGNMENT PLAN II
5 OF 20	PARTIAL ALIGNMENT PLAN III
6 OF 20	PARTIAL GRADING PLAN I
7 OF 20	PARTIAL GRADING PLAN II
8 OF 20	PARTIAL GRADING PLAN III
9 OF 20	PARTIAL UTILITY PLAN I
10 OF 20	PARTIAL UTILITY PLAN II
11 OF 20	PARTIAL UTILITY PLAN III
12 OF 20	DRAINAGE CALCULATION / STRUCTURE TABLES
13 OF 20	LIGHTING PLAN
14 OF 20	LANDSCAPE PLAN I
15 OF 20	LANDSCAPE PLAN II AND DETAILS
16 OF 20	LANDSCAPE PLAN III AND SCHEDULE
17 OF 20	EROSION CONTROL PLAN
18 OF 20	EROSION CONTROL DETAILS
19 OF 20	SITE DETAILS 1
20 OF 20	SITE DETAILS 2

4.	09-02-08	REVISED PER DERS COMMENTS FOR PERIOD ENDING 08-15-08	RES
3.	04-20-08	NO REVISION THIS SHEET	AV
2.	01-16-08	NO REVISION THIS SHEET	WDH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:



09/05/08

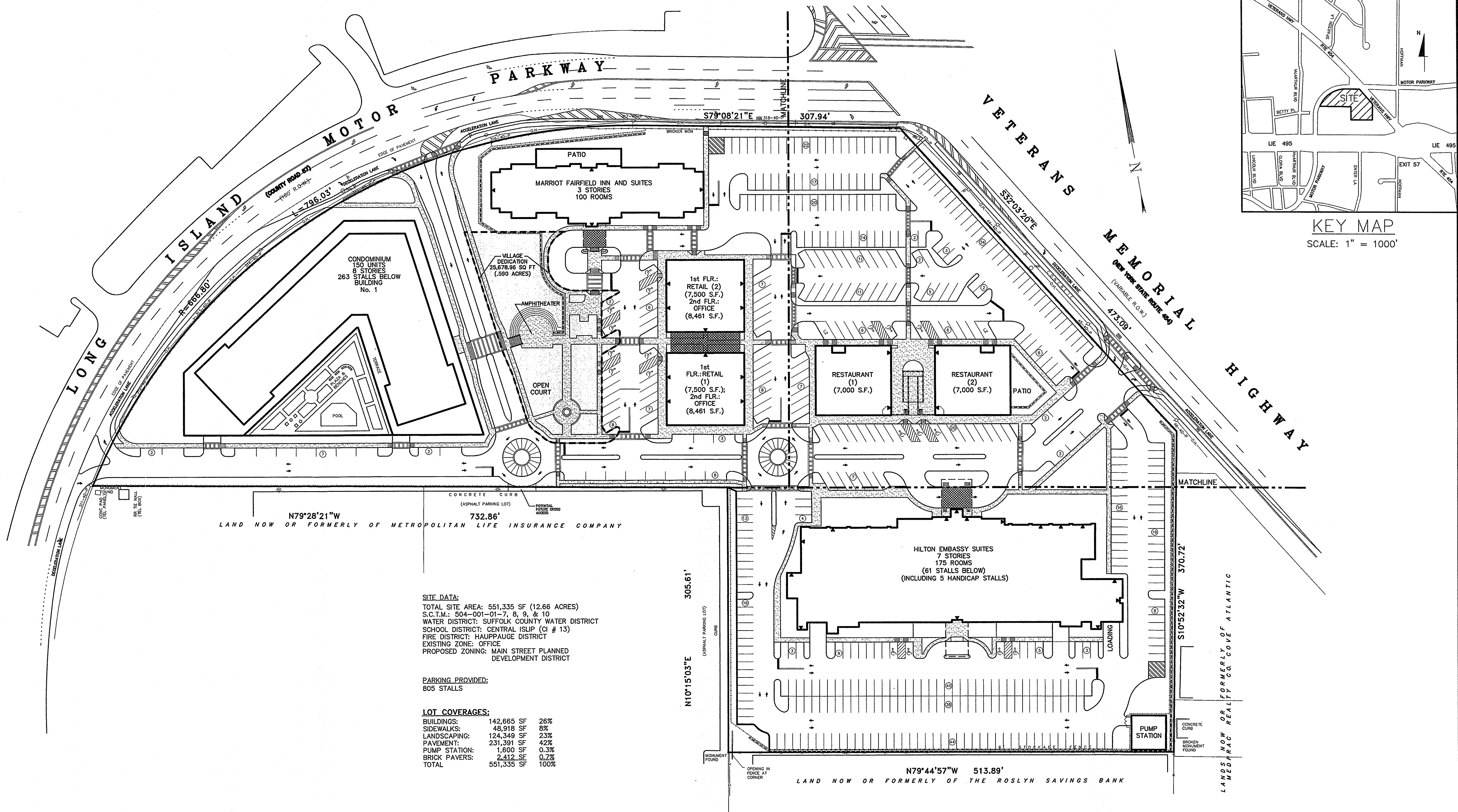
COVER SHEET
FOR
ISLANDIA VILLAGE CENTER
SITUATED AT
THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10



NELSON & POPE
ENGINEERS • SURVEYORS
572 WALT WHITMAN ROAD, MELVILLE, NY 11747-2988
(631) 427-5665 FAX (631) 427-5620 www.nelsonpopo.com

FILE NO:	
CADD: 97086E	
SCALE: AS SHOWN	
SHEET: 1 OF 6	

..... 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807. 808. 809. 810. 811. 812. 813. 814. 815. 816. 817. 818. 819. 820. 821. 822. 823. 824. 825. 826. 827. 828. 829. 830. 831. 832. 833. 834. 835. 836. 837. 838. 839. 840.



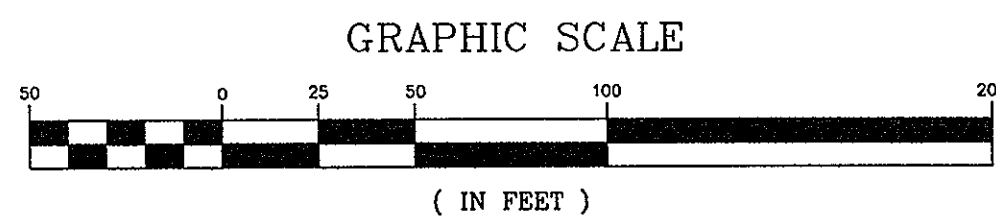
SITE DATA:
TOTAL SITE AREA: 551,335 SF (12.66 ACRES)
S.C.T.M.: 504-001-01-7, 8, 9, & 10
WATER DISTRICT: SUFFOLK COUNTY WATER DISTRICT
SCHOOL DISTRICT: CENTRAL ISLIP (CI # 13)
FIRE DISTRICT: HAUPPAUGE DISTRICT
EXISTING ZONE: OFFICE
PROPOSED ZONING: MAIN STREET PLANNED DEVELOPMENT DISTRICT

PARKING PROVIDED:
805 STALLS

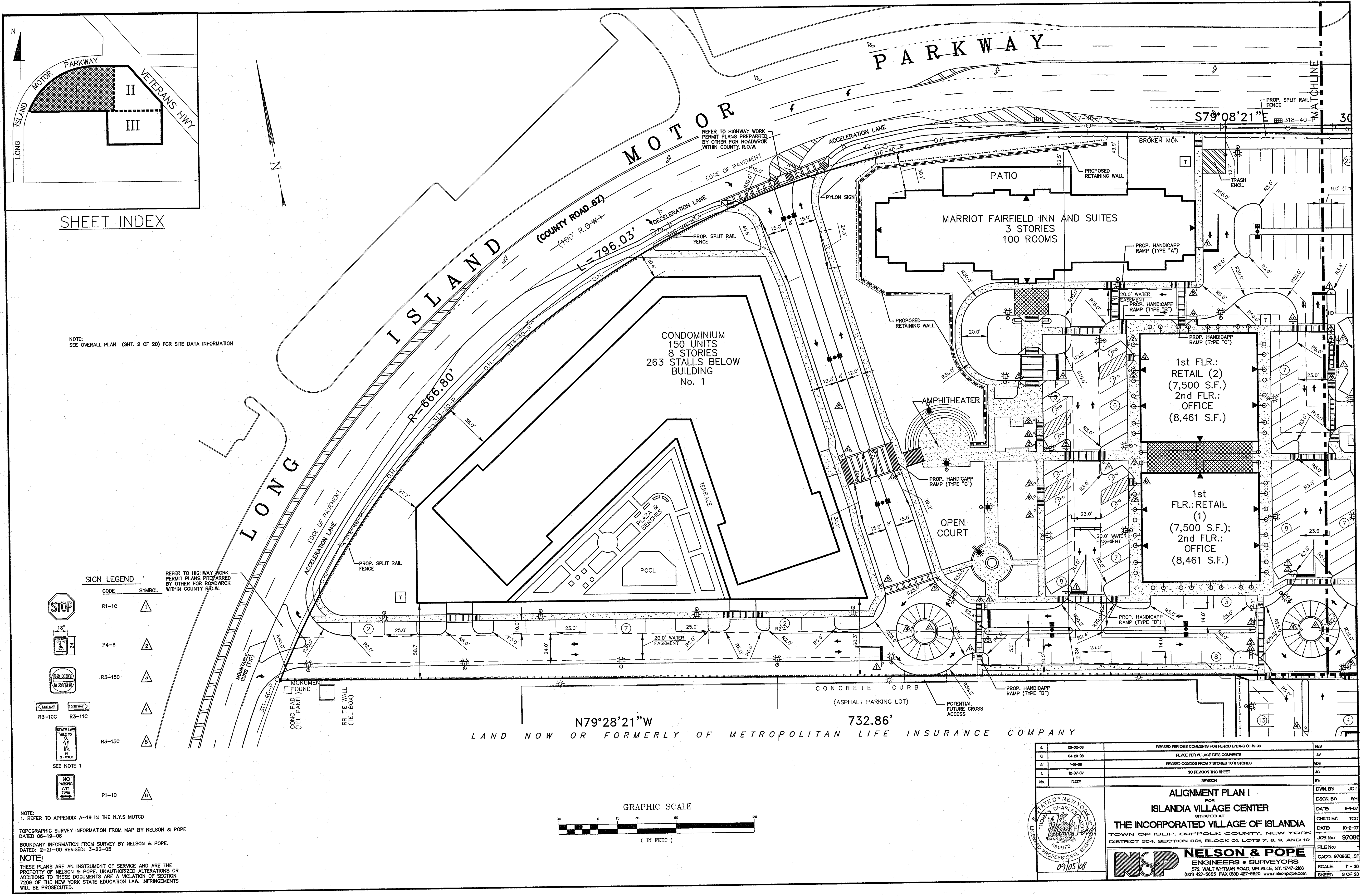
LOT COVERAGES:
BUILDINGS: 142,665 SF 26%
SIDEWALKS: 48,918 SF 8%
LANDSCAPING: 124,349 SF 23%
PAVEMENT: 231,391 SF 42%
PUMP STATION: 1,600 SF 0.3%
BRICK PAVERS: 2,412 SF 0.4%
TOTAL: 551,335 SF 100%

TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

NOTE:
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ADDITIONS TO THESE DOCUMENTS ARE A VIOLATION OF SECTION
7209 OF THE NEW YORK STATE EDUCATION LAW. INFRINGEMENTS
WILL BE PROSECUTED.



4.	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	FES
3.	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2.	1-16-08	REVISED CONDORS FROM 7 STORIES TO 8 STORIES	NDH
1.	12-07-07	REVISED FIRE DISTRICT	JC
No.	DATE	REVISION	BY:
MASTER PLAN			
ISLANDIA VILLAGE CENTER			
SITUATED AT			
THE INCORPORATED VILLAGE OF ISLANDIA			
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK			
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			
NELSON & POPE			
ENGINEERS • SURVEYORS			
572 WALT WHITMAN ROAD, MELVILLE, NY 11747-2888			
(631) 427-5655 FAX (631) 427-5620 www.nelsonpope.com			
DWN BY: JC #			FILE NO:
DSGN BY: WH			CADD: 97088E_SF
DATE: 9/1/07			SCALE: 5" = 1'
CHK'D BY: TCD			SHEET: 2 OF 20
DATE: 10-2-07			
JOB NO: 97088E			



SHEET INDEX

NOTE:
SEE OVERALL PLAN (SHT. 2 OF 20) FOR SITE DATA INFORMATION

SIGN LEGEND

CODE	SYMBOL
R1-1C	
P4-6	
R3-15C	
R3-10C	
R3-11C	
R3-15C	
P1-1C	

REFER TO HIGHWAY WORK
PERMIT PLANS PREPARED
BY OTHER FOR ROADWORK
WITHIN COUNTY R.O.W.

NOTE:
1. REFER TO APPENDIX A-19 IN THE N.Y.S. MUTCD

TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06

BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

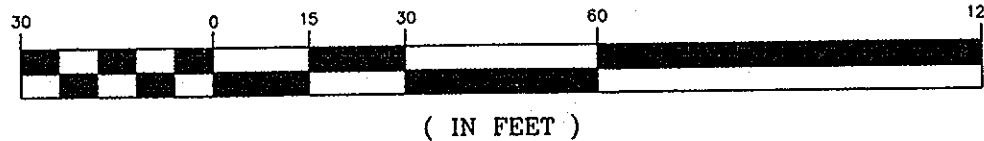
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WILL BE PROSECUTED.

N79°28'21"W

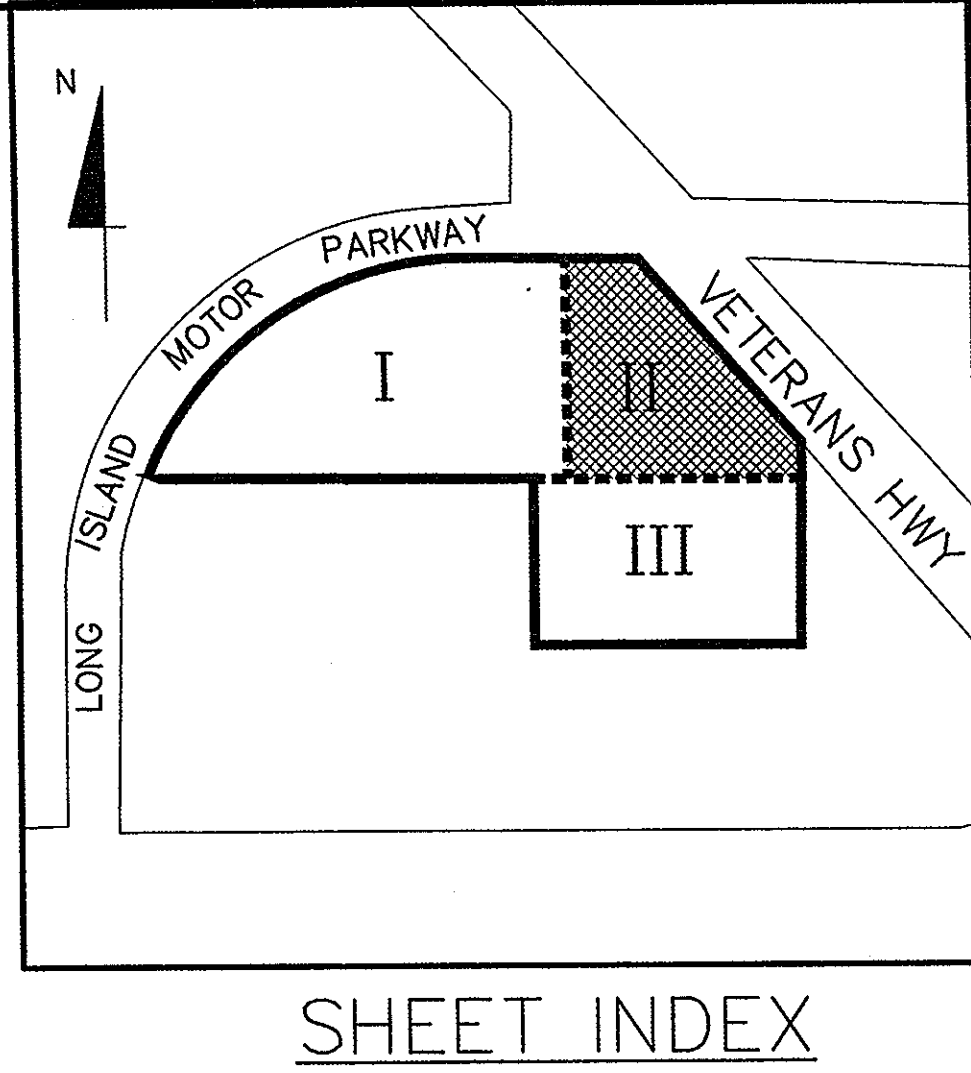
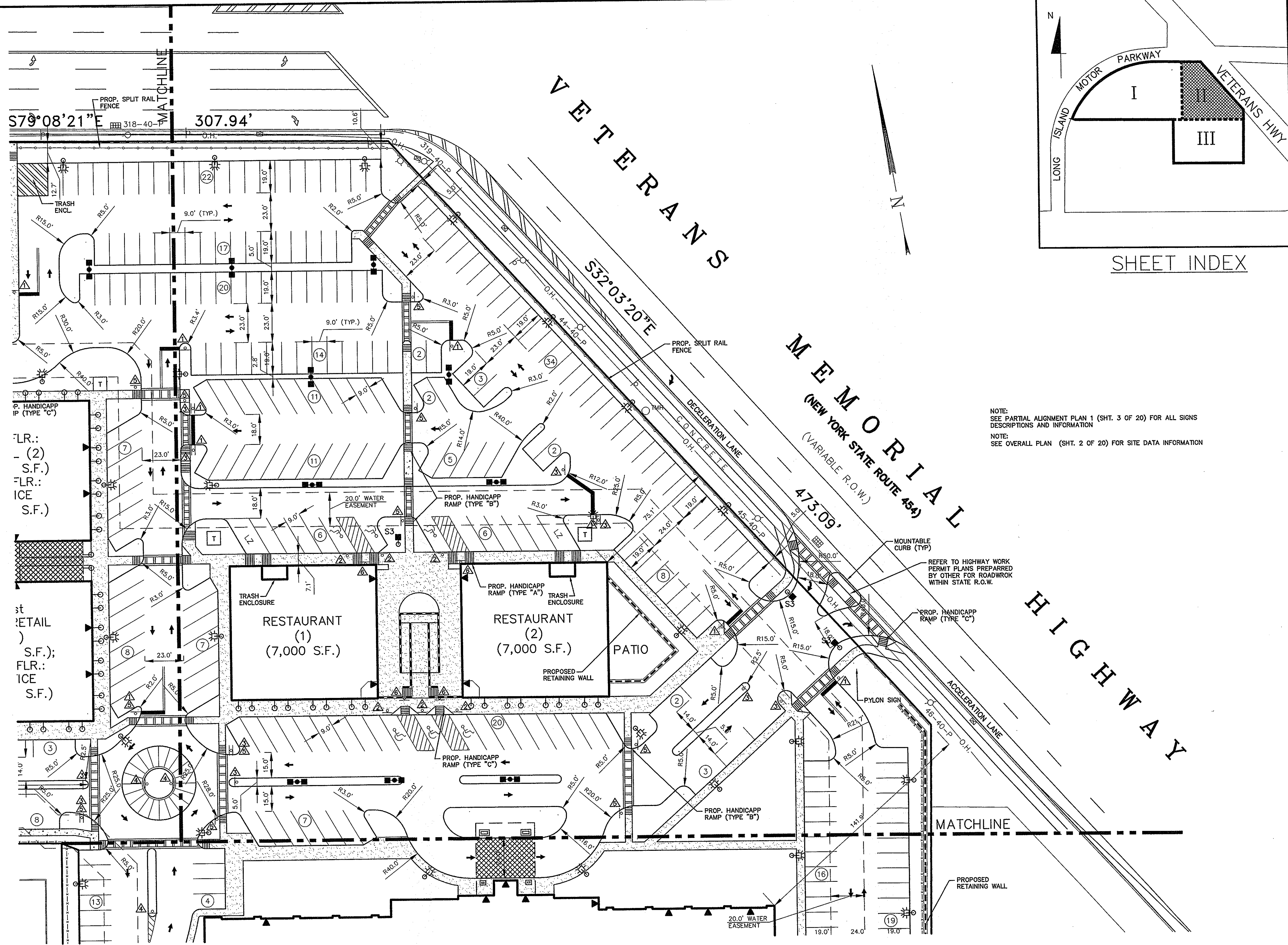
732.86'

LAND NOW OR FORMERLY OF METROPOLITAN LIFE INSURANCE COMPANY

GRAPHIC SCALE

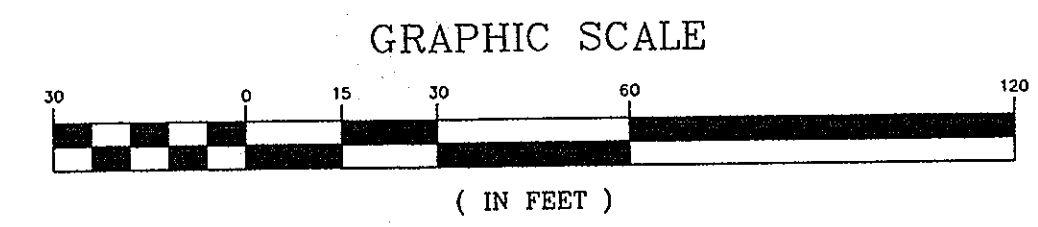


4	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
3	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2	1-16-08	REVISED CONDO'S FROM 7 STORIES TO 8 STORIES	WH
1	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY
ALIGNMENT PLAN I FOR ISLANDIA VILLAGE CENTER SITUATED AT THE INCORPORATED VILLAGE OF ISLANDIA TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			
NELSON & POPE ENGINEERS & SURVEYORS 572 WALT WHITMAN ROAD, MELVILLE, NY 11747-2188 (631) 427-5655 FAX (631) 427-5659 www.nelsonandpope.com			
DWN BY: JC II DSGN BY: WH DATE: 9-1-07 CHKD BY: TCD DATE: 10-2-07 JOB No: 97086 FILE No: CADD: 97086E_SF SCALE: F=30 SHEET: 3 OF 20			



NOTE:
SEE PARTIAL ALIGNMENT PLAN 1 (SHT. 3 OF 20) FOR ALL SIGNS
DESCRIPTIONS AND INFORMATION
NOTE:
SEE OVERALL PLAN (SHT. 2 OF 20) FOR SITE DATA INFORMATION

REFER TO HIGHWAY WORK
PERMIT PLANS PREPARED
BY OTHER FOR ROADWORK
WITHIN STATE R.O.W.



TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

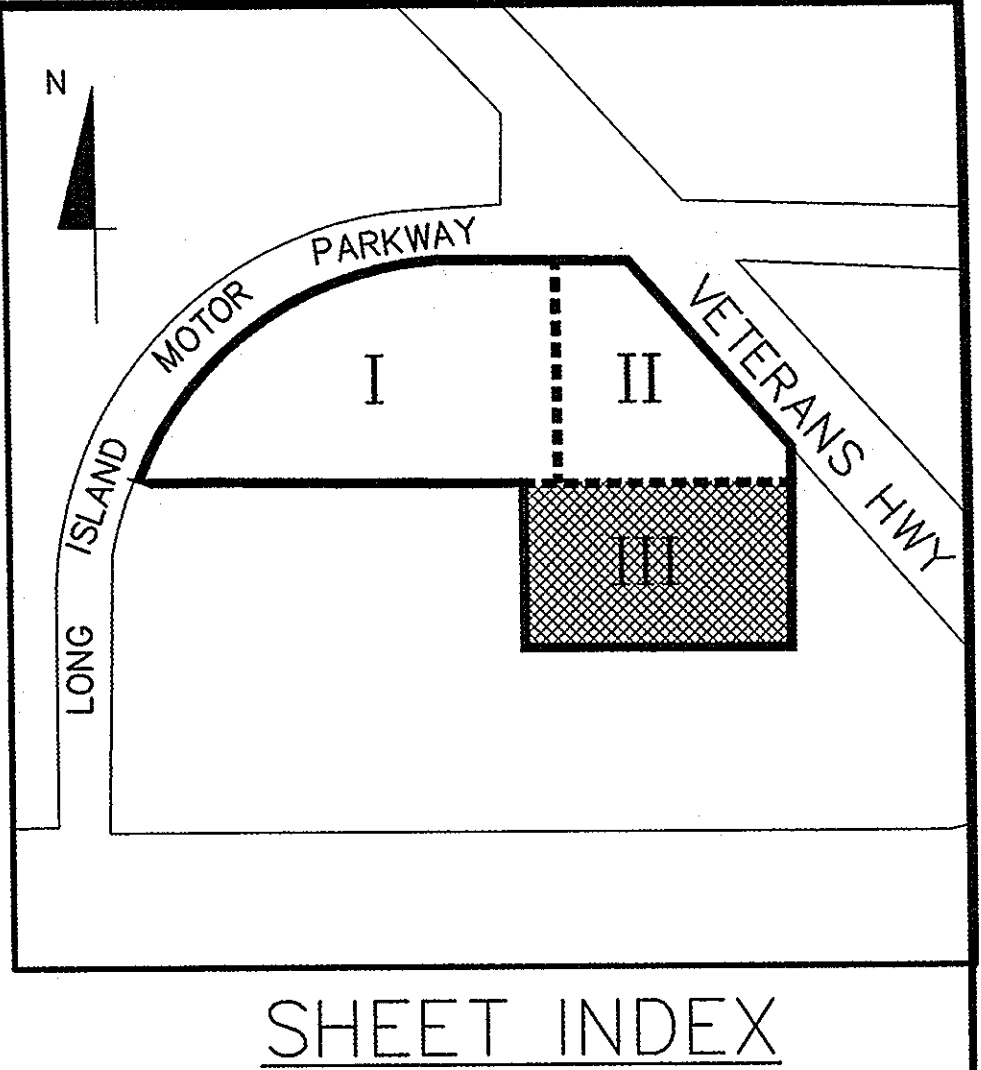
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4	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
3	04-28-08	REVISED PER VILLAGE DESG COMMENTS	AV
2	1-16-08	NO REVISION THIS SHEET	MDH
1	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY
DWN BY:	JC		
DSGN BY:	WH		
DATE:	9-1-07		
CHK'D BY:	TCD		
DATE:	10-2-07		
JOB No:	97086		
FILE No:			
CADD:	97086E_SF		
SCALE:	AS SHOWN		
SHEET:	4 OF 20		

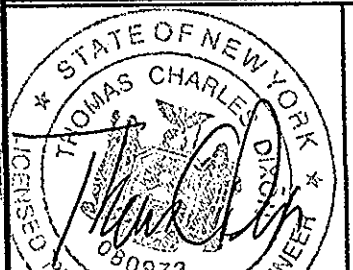
09/05/08

ALIGNMENT PLAN II
FOR
ISLANDIA VILLAGE CENTER
SITUATED AT
THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

NELSON & POPE
ENGINEERS & SURVEYORS
572 WALT WHITMAN ROAD, MELVILLE, N.Y. 11747-2988
(631) 427-5665 FAX (631) 427-5620 www.nelsonpope.com



4.	09-02-08	REVIEW PER DES COMMENTS FOR PERIOD ENDING 09-05-08	RES
3.	04-29-08	REVIEW PER VILLAGE DES COMMENTS	AV
2.	1-16-08	NO REVISION THIS SHEET	MDH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:



09/05/08

ALIGNMENT PLAN III

FOR

ISLANDIA VILLAGE CENTER

SITUATED AT

THE INCORPORATED VILLAGE OF ISLANDIA

TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK

DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

DWN. BY: JC

DSGN. BY: W

DATE: 9-14

CHKD BY: T

DATE: 10-2

JOB NO: 97086

FILE No:

CADD: 97086E

SCALE: AS SHOWN

SHEET: 5 OF 5

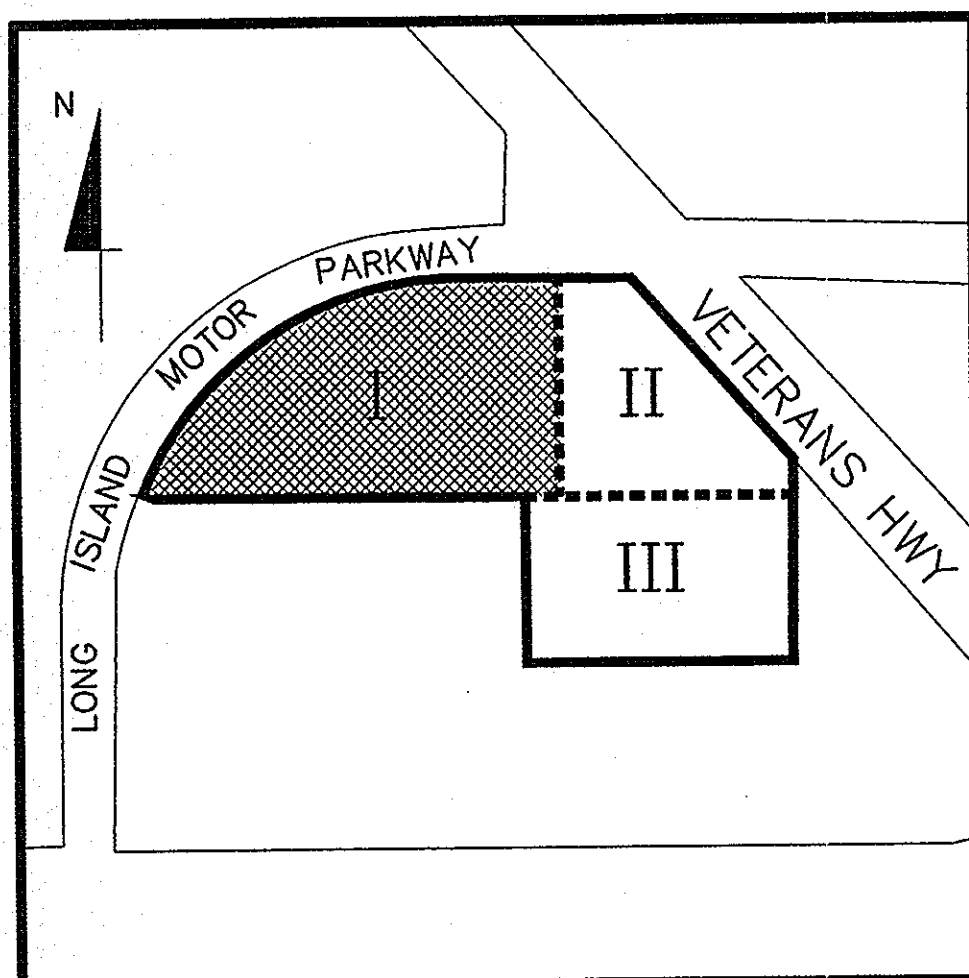


NELSON & POPE

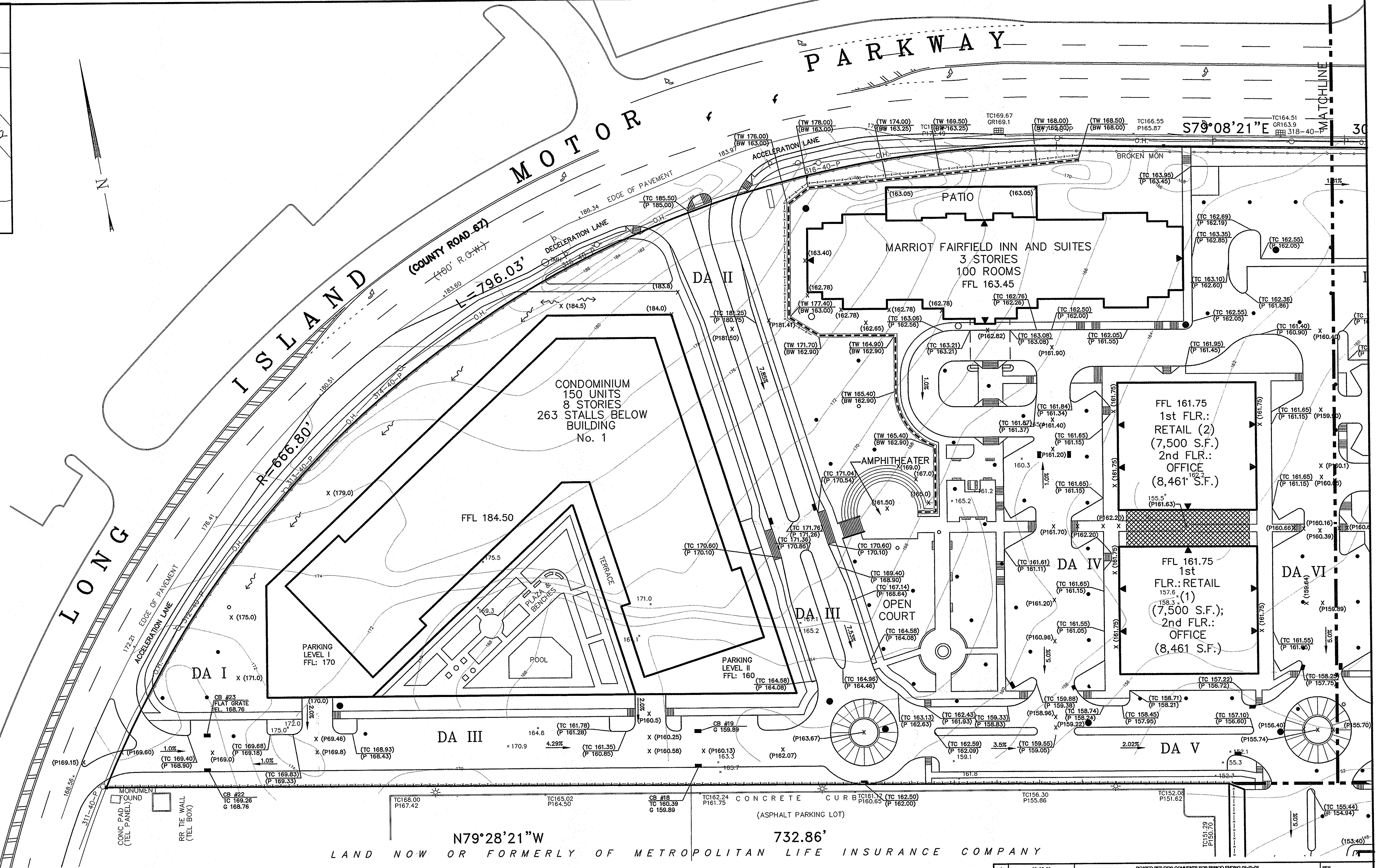
ENGINEERS • SURVEYORS

572 WALT WHITMAN ROAD, MELVILLE, NY 11747-2188

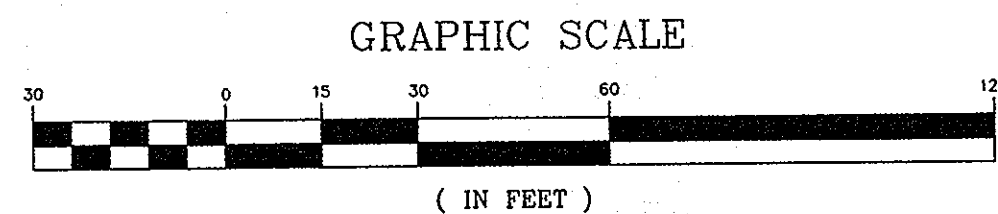
(631) 427-5665 FAX (631) 427-5620 www.nelsonandpope.com



SHEET INDEX



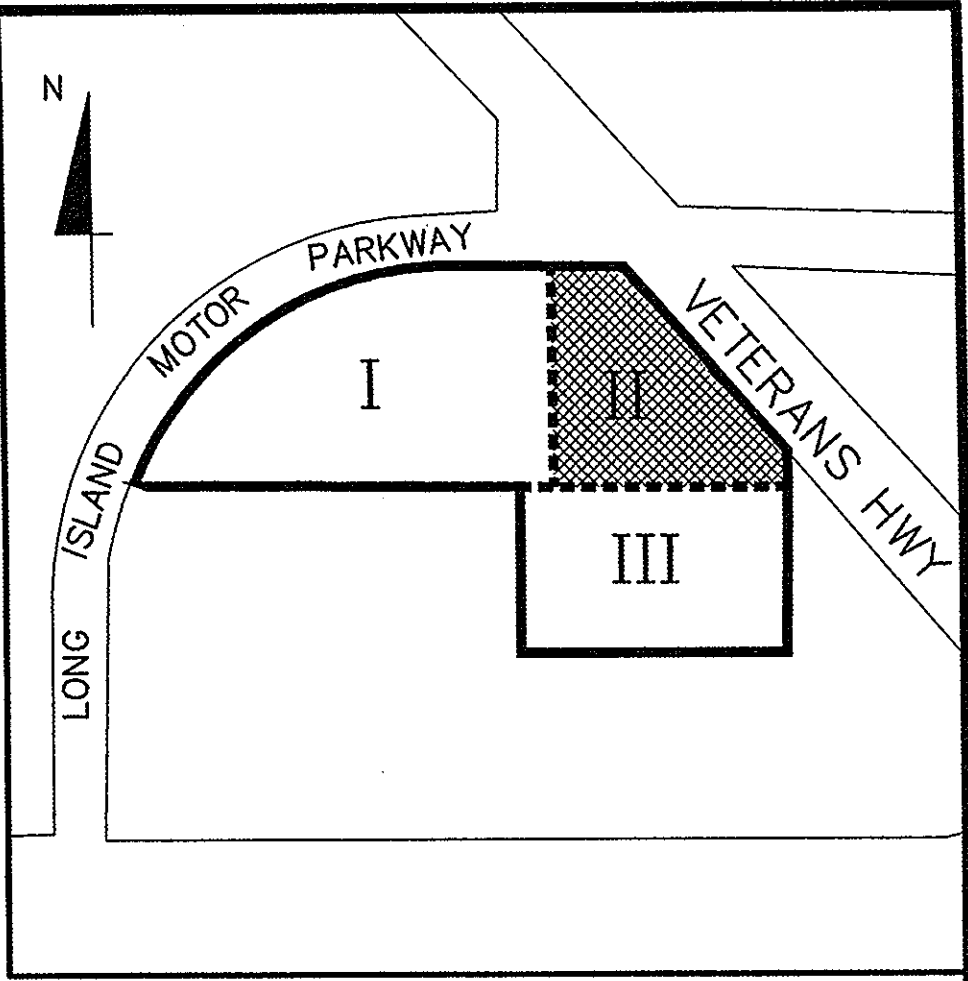
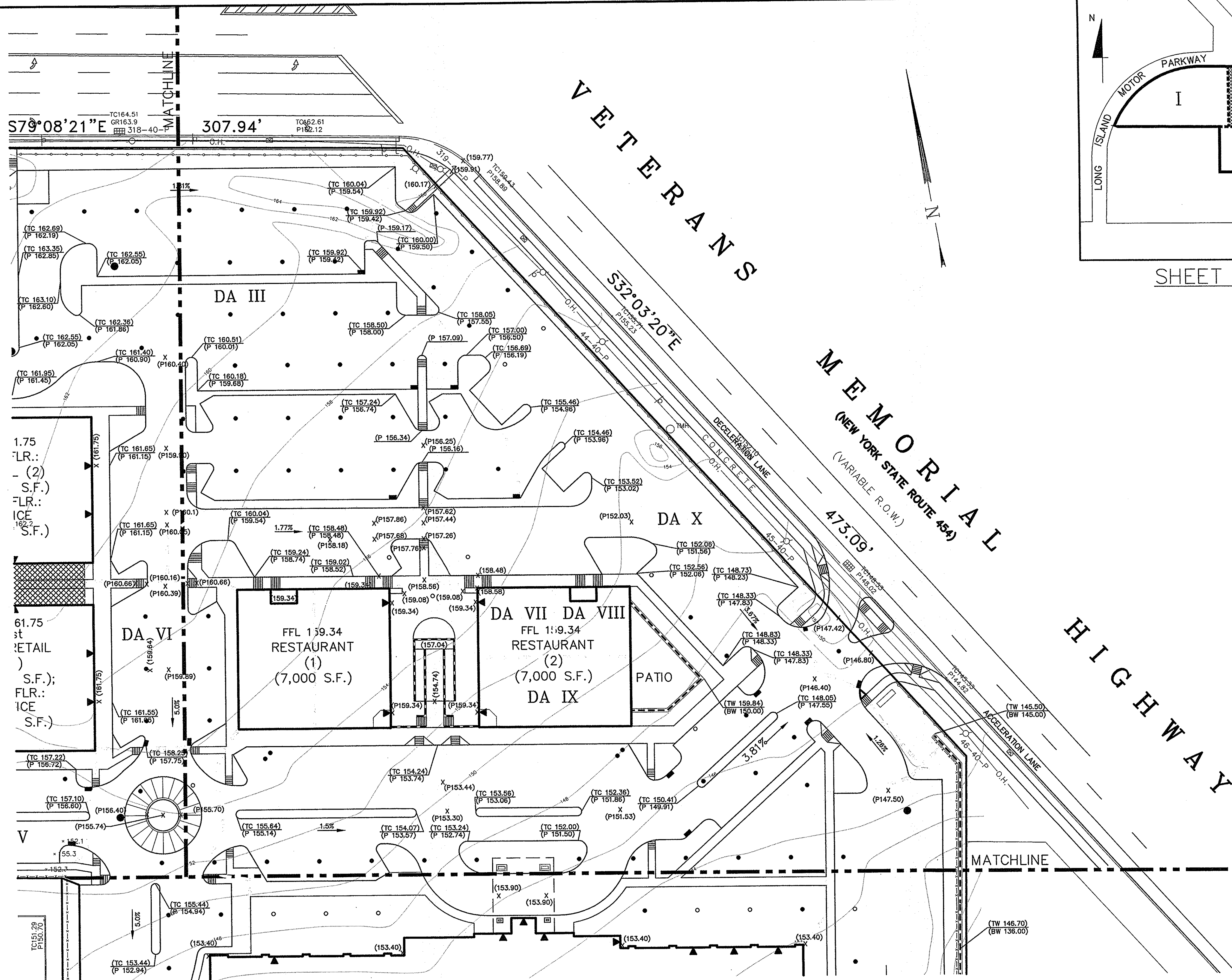
TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE
DATED: 2-21-00 REVISED: 3-22-05
NOTE:
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ADDITIONS TO THESE DOCUMENTS ARE A VIOLATION OF SECTION
7209 OF THE NEW YORK STATE EDUCATION LAW. INFRINGEMENTS
WILL BE PROSECUTED.



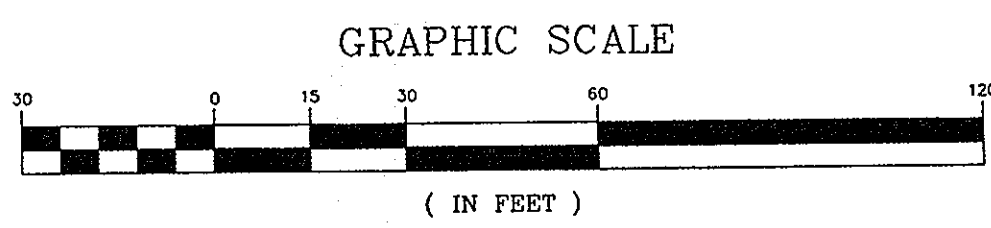
4.	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	DES
3.	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2.	1-16-08	REVISED CONDO'S FROM 7 STORIES TO 8 STORIES	MDH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY
DWN BY: JC II			
DSGN BY: WH			
DATE: 9-1-07			
CHK'D BY: TCD			
DATE: 10-2-07			
JOB No: 97086			
FILE No: -			
CADD: 97086E_SF			
SCALE: 1" = 30'			
SHEET: 6 OF 20			

GRADING AND DRAINAGE PLAN I
FOR
ISLANDIA VILLAGE CENTER
SITUATED AT
THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 604, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

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SHEET INDEX



TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

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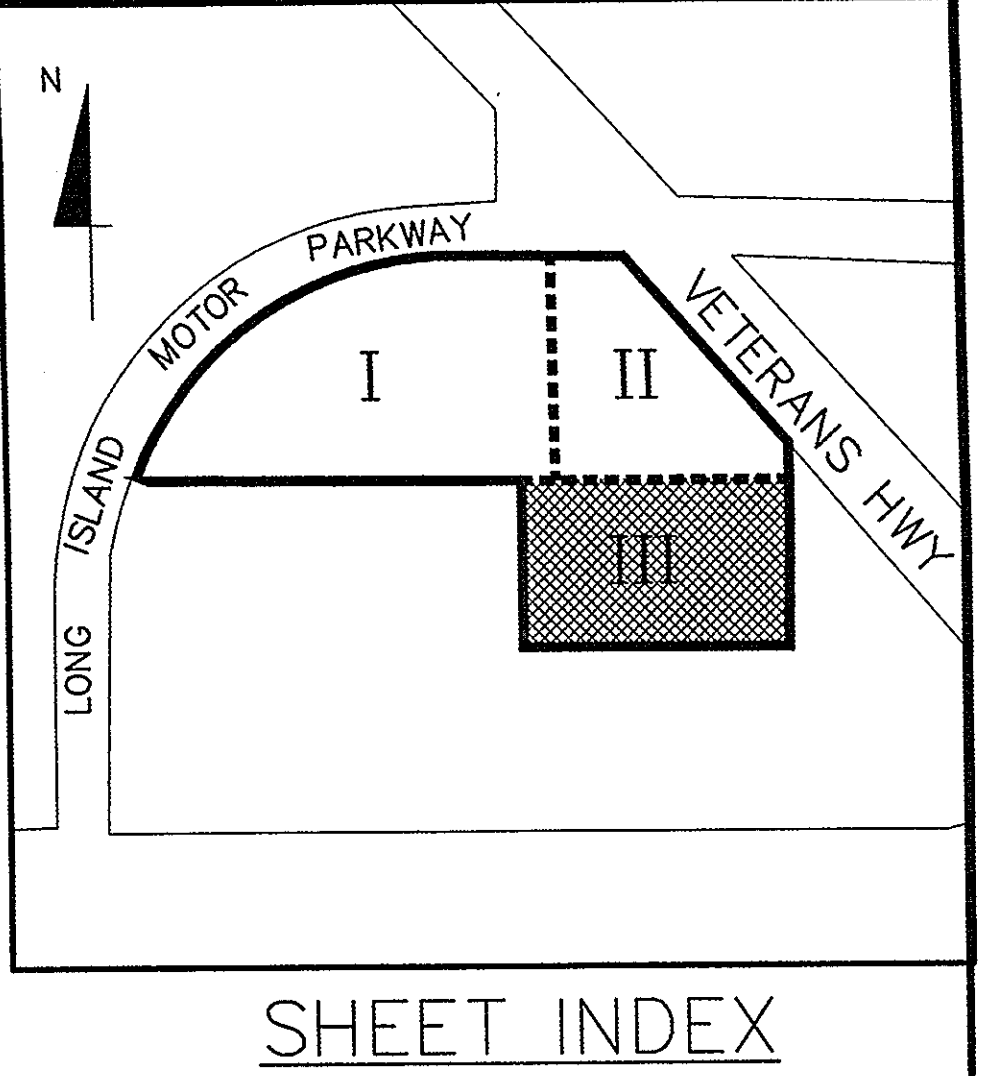
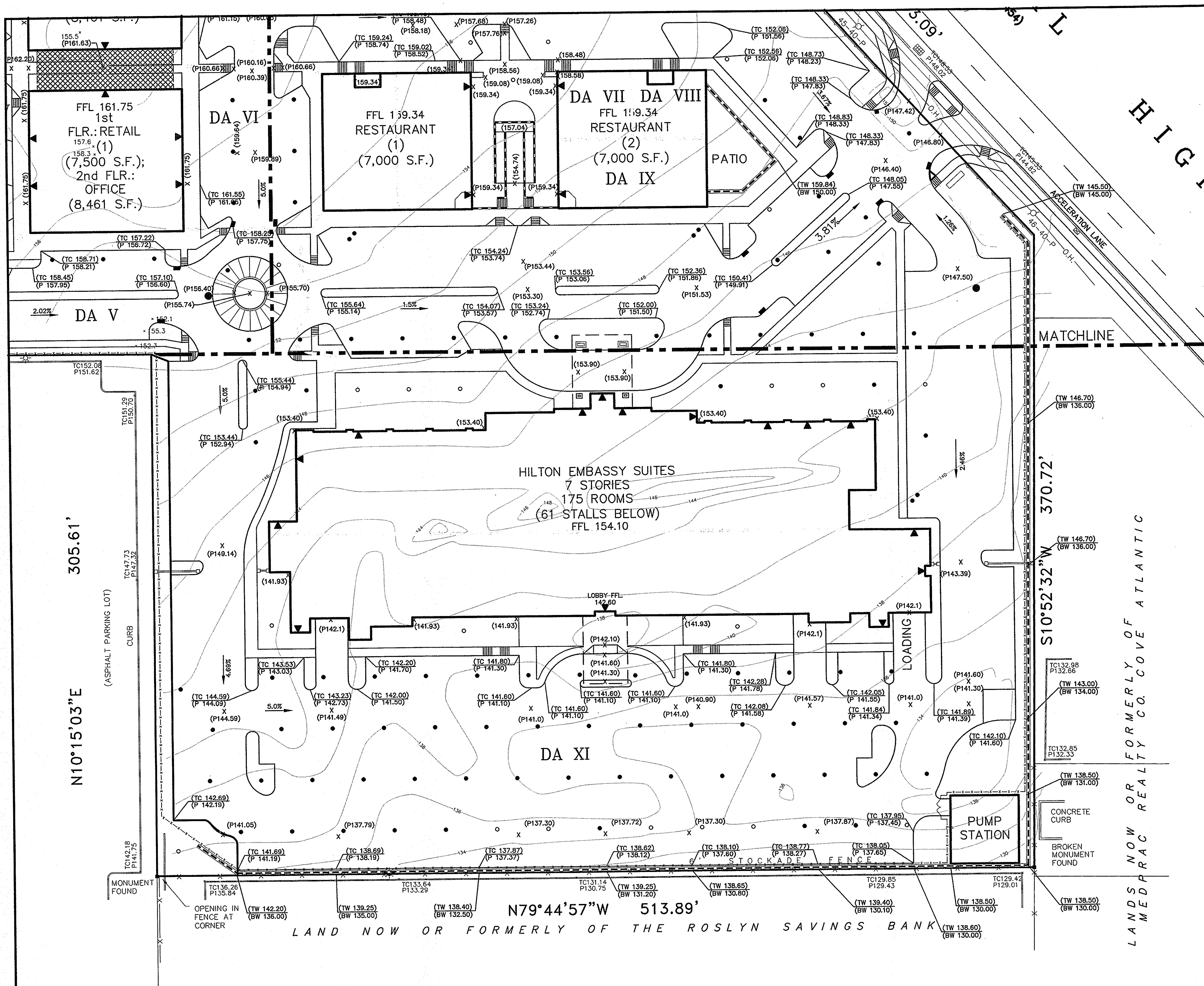
4	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
3	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2	1-16-08	NO REVISION THIS SHEET	KCH
1	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:

GRADING AND DRAINAGE PLAN II
FOR
ISLANDIA VILLAGE CENTER
SITUATED AT
THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

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DWN BY:	JC II
DSGN BY:	WH
DATE:	9-1-07
CHK'D BY:	TCD
DATE:	10-2-07
JOB No:	97086
FILE No:	
CADD:	97086E_SP
SCALE:	AS SHOWN
SHEET:	7 OF 20

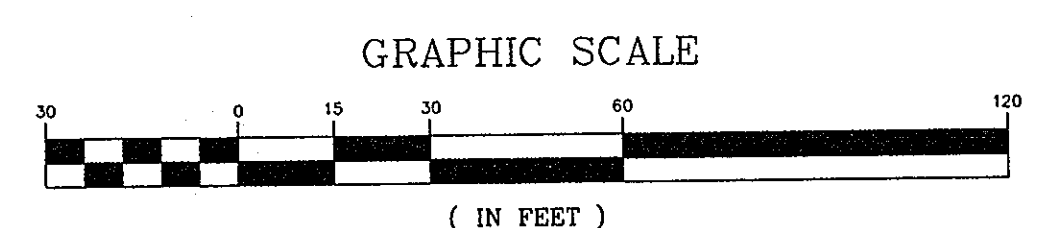
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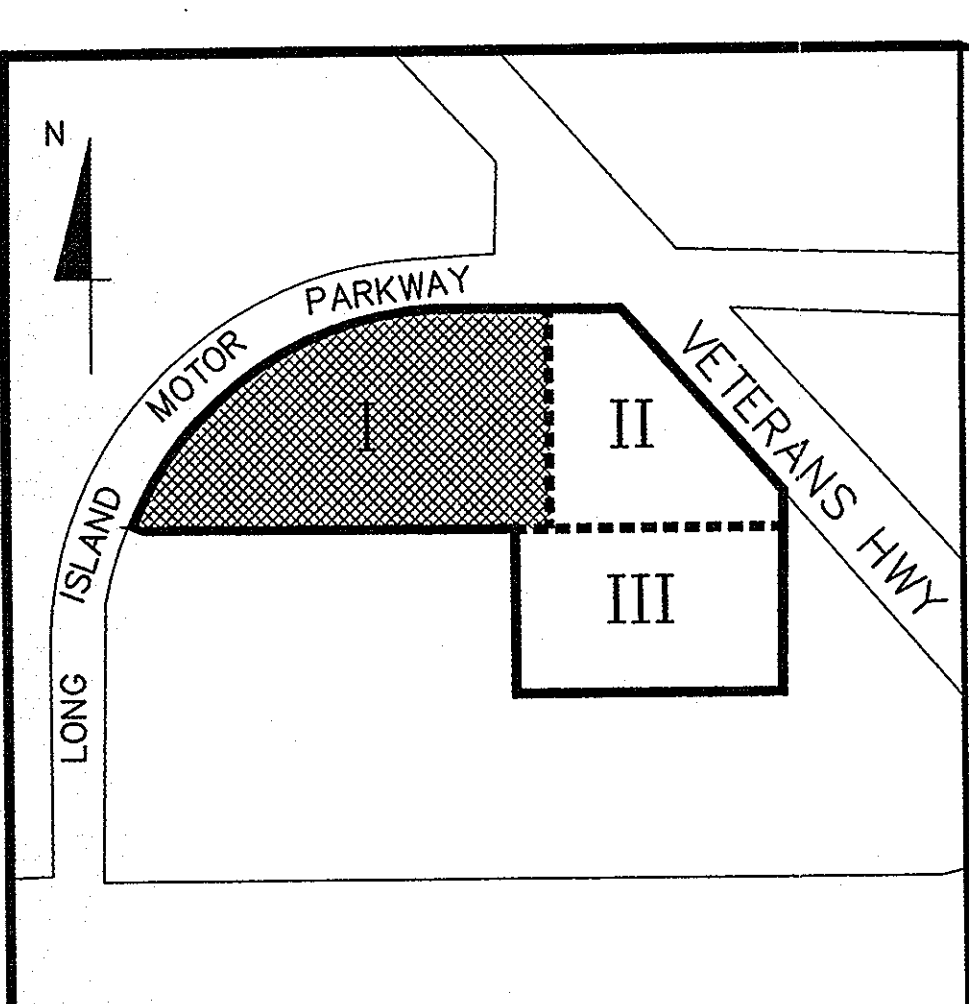
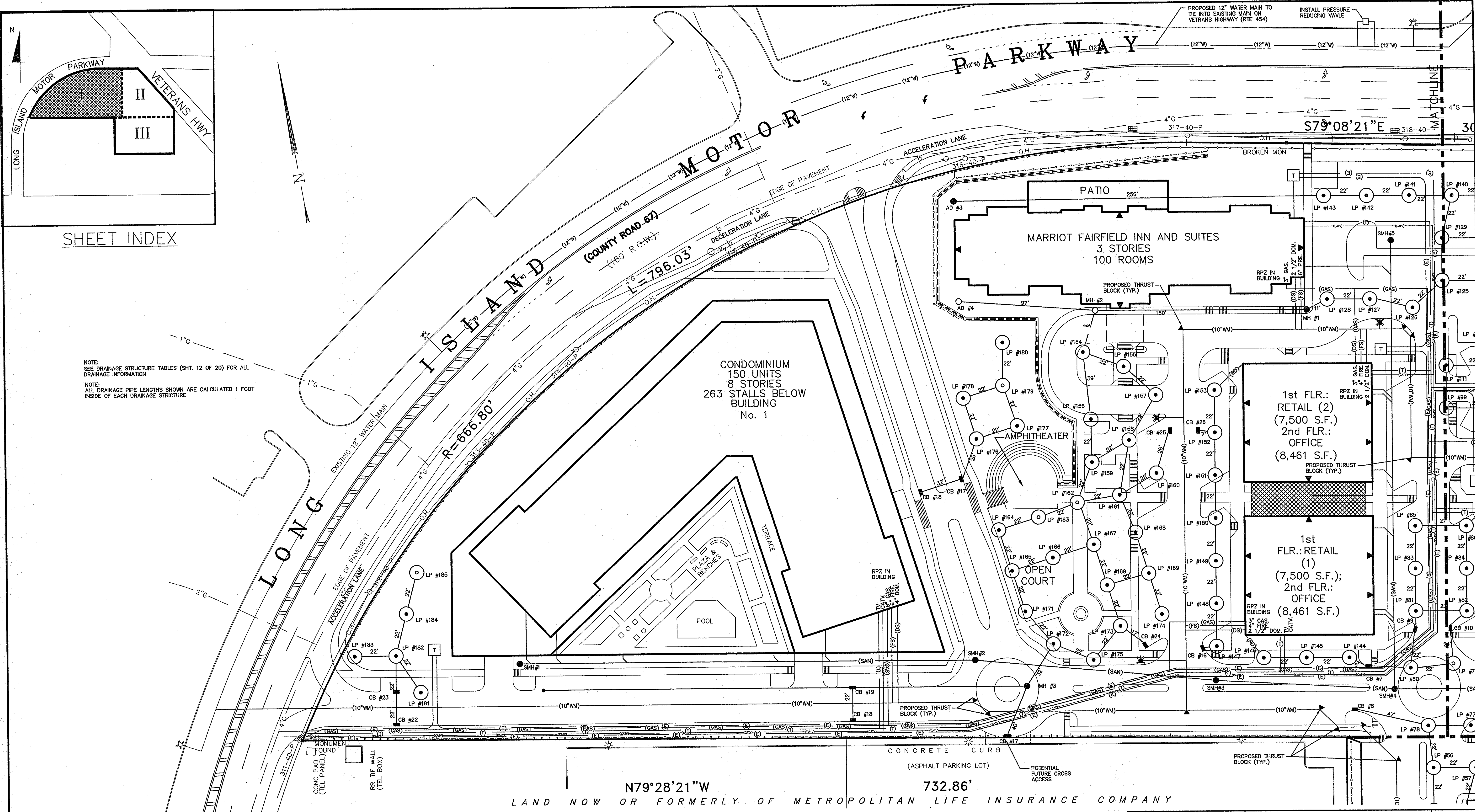
SHEET INDEX

TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE
DATED: 2-21-00 REVISED: 3-22-05

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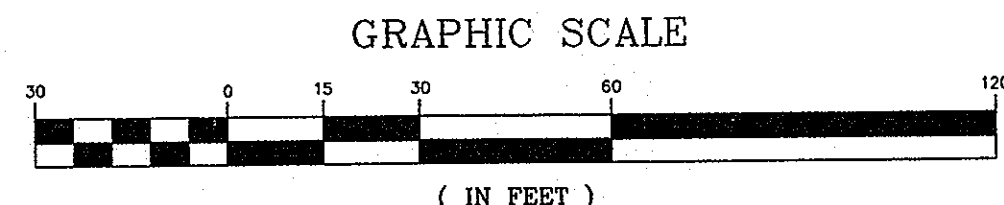
4.	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	REB
3.	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2.	1-16-08	NO REVISION THIS SHEET	ACH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY
GRADING AND DRAINAGE PLAN III FOR ISLANDIA VILLAGE CENTER SITUATED AT THE INCORPORATED VILLAGE OF ISLANDIA TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK DISTRICT 604, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			DWN BY: JC II DSGN BY: WH DATE: 9-1-07 CHKD BY: TCD DATE: 10-2-07 JOB No: 97086 FILE No: CADD: 97086E_SF SCALE: AS SHOWN SHEET: 8 OF 20
NELSON & POPE ENGINEERS & SURVEYORS 672 WALT WHITMAN ROAD, MELVILLE, NY 11747-2188 (631) 427-5665 FAX (631) 427-5620 www.nelsonandpope.com			



SHEET INDEX

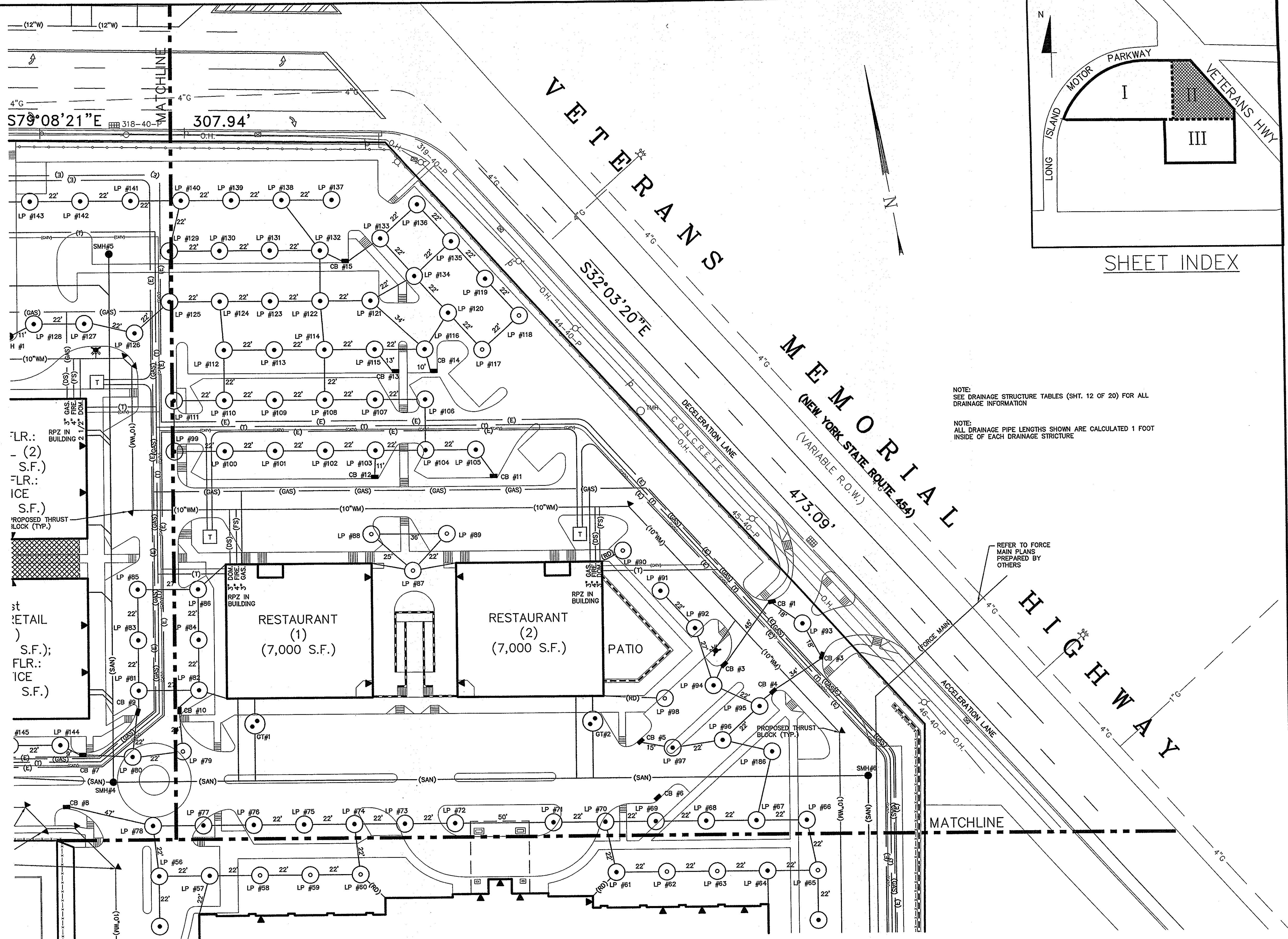
NOTE:
SEE DRAINAGE STRUCTURE TABLES (SHT. 12 OF 20) FOR ALL DRAINAGE INFORMATION
NOTE:
ALL DRAINAGE PIPE LENGTHS SHOWN ARE CALCULATED 1 FOOT INSIDE OF EACH DRAINAGE STRUCTURE

N79°28'21"W 732.86'
LAND NOW OR FORMERLY OF METROPOLITAN LIFE INSURANCE COMPANY



TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE DATED 08-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE. DATED: 2-21-00 REVISED: 3-22-05
NOTE:
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4	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	JES
3	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2	1-19-08	REVISED CONDOCS FROM 7 STORIES TO 8 STORIES	MDH
1	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:
UTILITY PLAN I			
ISLANDIA VILLAGE CENTER			
SITUATED AT			
THE INCORPORATED VILLAGE OF ISLANDIA			
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK			
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			
NELSON & POPE			
ENGINEERS & SURVEYORS			
572 WALT WHITMAN ROAD, MELVILLE, N.Y. 11747-2888			
(631) 427-5655 FAX (631) 427-5620 www.nelsonandpope.com			
DWN BY:	JC II	DATE:	9-1-07
DSGN BY:	WH	CHKD BY:	TCD
DATE:	10-2-07	DATE:	10-2-07
FILE No.:		JOB No.:	97086
CADD:	97086E_SF	SCALE:	1" = 30'
SHEET:	9 OF 20		



NOTE:
SEE DRAINAGE STRUCTURE TABLES (SHT. 12 OF 20) FOR ALL DRAINAGE INFORMATION

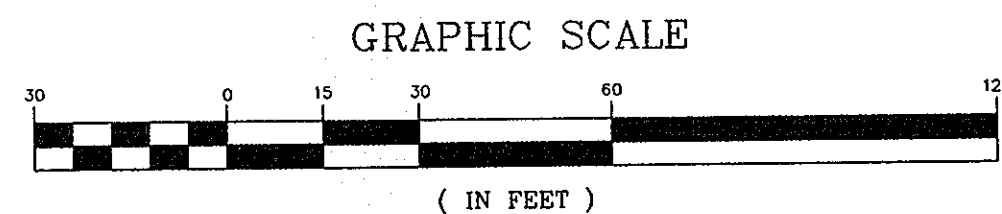
NOTE:
ALL DRAINAGE PIPE LENGTHS SHOWN ARE CALCULATED 1 FOOT INSIDE OF EACH DRAINAGE STRUCTURE

REFER TO FORCE MAIN PLANS PREPARED BY OTHERS

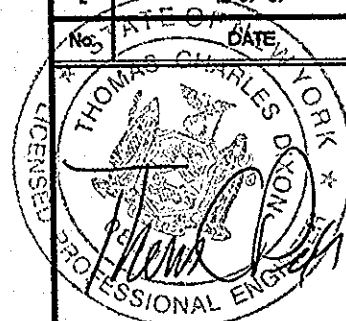
TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE DATED 06-19-06

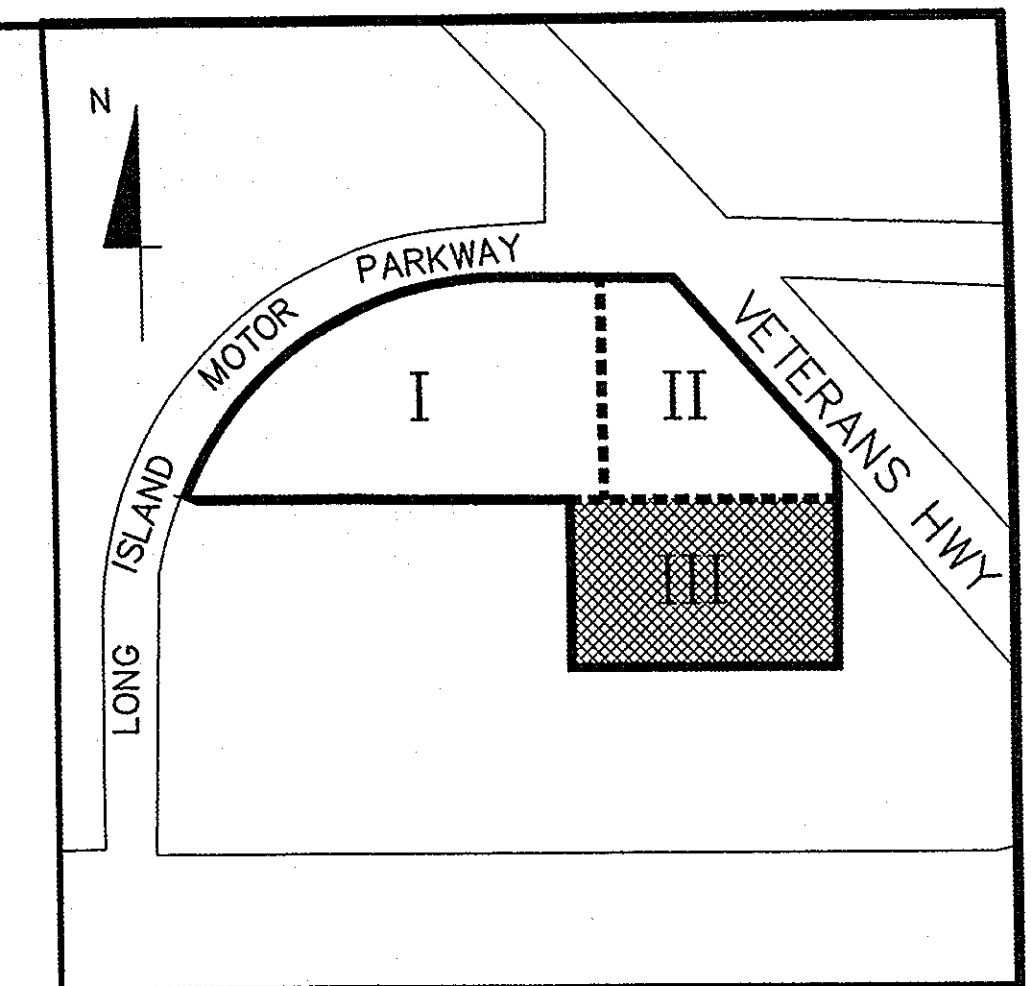
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE. DATED: 2-21-00 REVISED: 3-22-05

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4	09-02-08	REVISED PER DESK COMMENTS FOR PERIOD ENDING 08-15-08	FES
3	04-29-08	REVISED PER VILLAGE DESK COMMENTS	AV
2	1-16-08	NO REVISION THIS SHEET	MDH
1	8-07-07	NO REVISION THIS SHEET	JC
0		REVISION	BY:
UTILITY PLAN II FOR ISLANDIA VILLAGE CENTER SITUATED AT THE INCORPORATED VILLAGE OF ISLANDIA TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			DWN BY: JC II
			DSGN BY: WH
			DATE: 9-1-07
			CHK'D BY: TCD
			DATE: 10-2-07
			JOB No: 97086
			FILE No: -
			CADD: 97086E_SP
			SCALE: AS SHOWN
			SHEET: 10 OF 20
NELSON & POPE ENGINEERS • SURVEYORS 572 WALT WHITMAN ROAD, MELVILLE, N.Y. 11747-2188 (631) 427-5665 FAX (631) 427-5620 www.nelsonandpope.com			

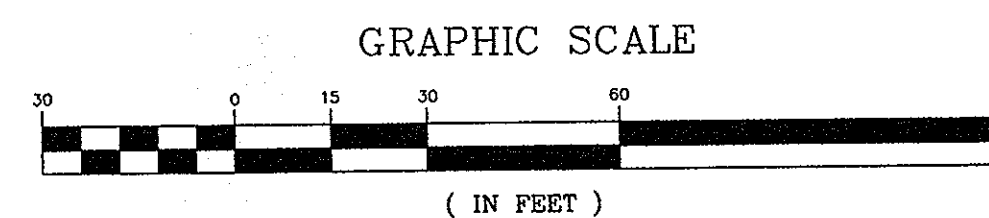




SHEET INDEX

NOTE:
ALL DRAINAGE PIPE LENGTHS SHOWN ARE CALCULATED 1 FOOT INSIDE
OF EACH DRAINAGE STRUCTURE

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4.	09-02-08	REVISED PER COMMENTS FOR PERIOD ENDING 08-15-08	RES
3.	04-29-08	REVISED PER VILLAGE DESIG COMMENTS	AV
2.	1-16-08	NO REVISION THIS SHEET	MDH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY



09/05/08

UTILITY PLAN III

FOR

ISLANDIA VILLAGE CENTER

SITUATED AT

THE INCORPORATED VILLAGE OF ISLANDIA

TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10



NELSON & POPE

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(631) 427-5665 FAX (631) 427-5620 www.nelsonandpope.com

DWN. BY: JC 1

DSGN. BY: WH

DATE: 9-1-07

CHK'D BY: TOD

DATE: 10-2-07

JOB NO: 97086

FILE NO: -

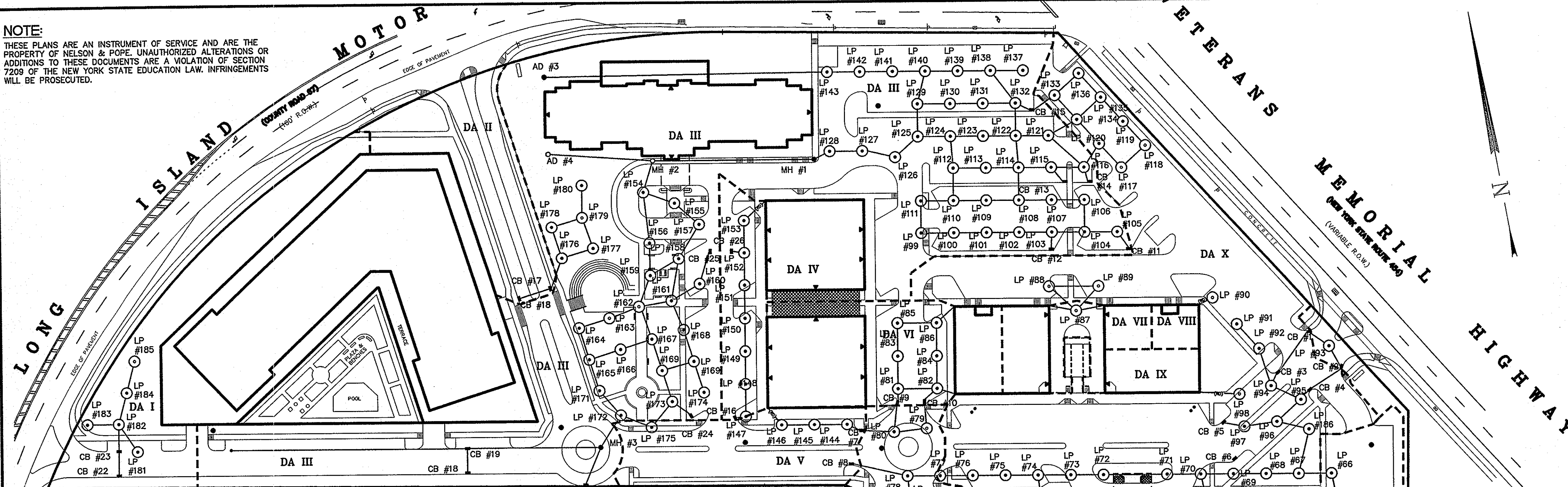
CADD: 97086E_SF

SCALE: AS SHOWN

SHEET: 11 OF 20

G:\projects\97086\DWG\SITE\EMBASSY\97086SP.DWG, 9/5/2008 1:09:47 PM, shaw

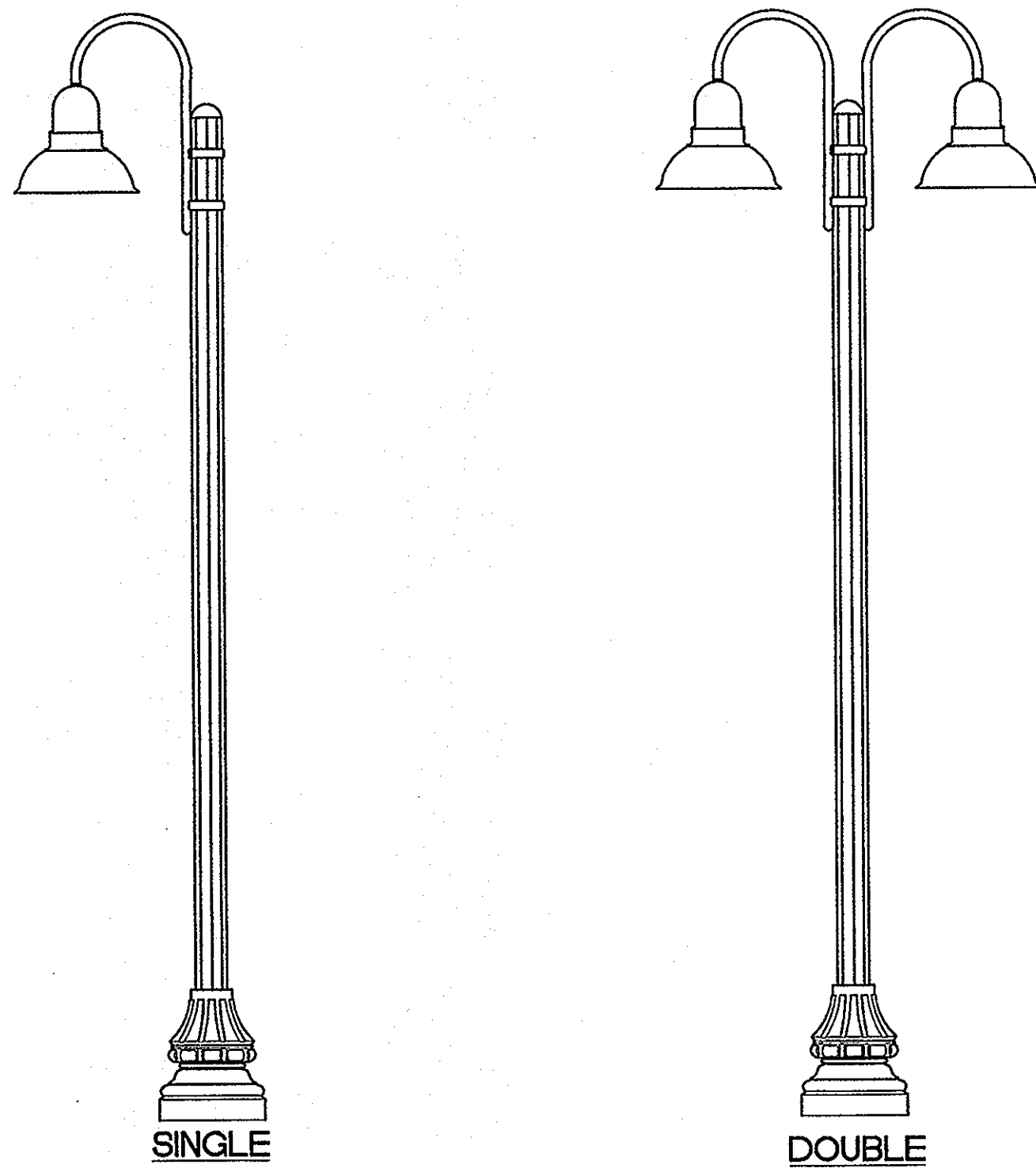
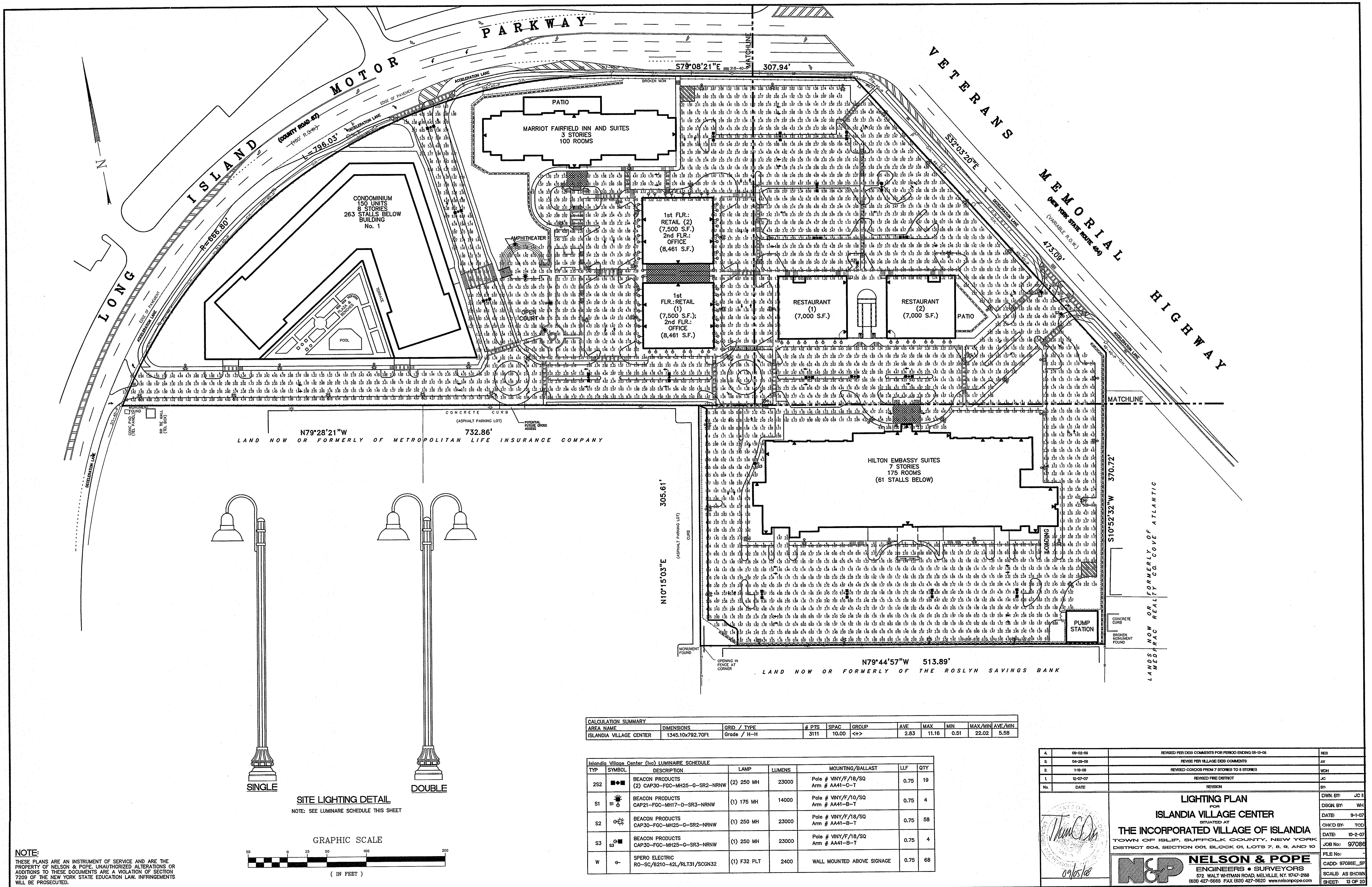
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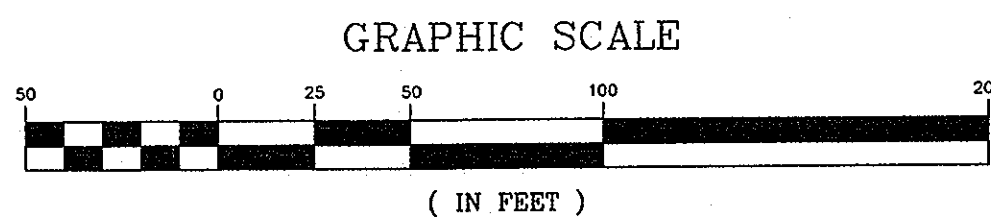
STRUCTURE	TOP/GRATE	HIGHWATER LEVEL	INVERT	DIA.	EFF. DEPTH	BOT.
LP #1	G 137.42	137.09	130.09	10'	15'	116.00
LP #2	T 137.42	137.09	129.87	10'	15'	116.00
LP #3	T 137.79	137.09	130.09	10'	15'	116.00
LP #4	G 137.47	137.09	129.87	10'	15'	116.00
LP #5	G 137.15	137.09	130.15	10'	15'	116.00
LP #6	G 137.45	137.09	129.87	10'	15'	116.00
LP #7	T 137.75	137.09	129.65	10'	15'	116.00
LP #8	G 137.45	137.09	129.87	10'	15'	116.00
LP #9	G 139.09	137.09	130.09	10'	15'	116.00
LP #10	T 137.83	137.09	129.87	10'	15'	116.00
LP #11	T 138.57	137.09	130.09	10'	15'	116.00
LP #12	T 139.32	137.09	130.31	10'	15'	116.00
LP #13	T 140.06	137.09	130.53	10'	15'	116.00
LP #14	T 140.80	137.09	130.75	10'	15'	116.00
LP #15	T 142.63	137.09	132.41	10'	15'	118.00
LP #16	T 142.12	137.09	132.19	10'	15'	118.00
LP #17	T 140.61	137.09	131.97	10'	15'	118.00
LP #18	T 140.10	137.09	131.75	10'	15'	118.00
LP #19	T 139.59	137.09	131.53	10'	15'	118.00
LP #20	T 139.08	137.09	131.31	10'	15'	118.00
LP #21	T 138.57	137.09	E 129.87 S 129.87 W 131.33	10'	15'	118.00
LP #22	T 138.53	137.09	131.75	10'	15'	118.00
LP #23	T 138.93	137.09	131.53	10'	15'	118.00
LP #24	T 138.96	137.09	131.31	10'	15'	118.00
LP #25	T 138.78	137.09	131.53	10'	15'	118.00
LP #26	T 139.10	137.09	131.75	10'	15'	118.00
LP #27	T 139.32	137.09	131.97	10'	15'	118.00
LP #28	T 139.77	137.09	131.75	10'	15'	118.00
LP #29	T 138.97	137.09	131.53	10'	15'	118.00
LP #30	T 140.59	137.09	132.56	10'	15'	119.25
LP #31	T 140.89	137.09	132.78	10'	15'	119.25
LP #32	T 140.72	137.09	133.00	10'	15'	119.25
LP #33	T 140.40	137.09	132.78	10'	15'	119.25
LP #34	T 140.46	137.09	132.56	10'	15'	119.25
LP #35	T 140.10	137.09	132.78	10'	15'	119.25
LP #36	T 140.01	137.09	133.00	10'	15'	119.25
LP #37	T 137.42	137.09	132.78	10'	15'	119.25
LP #38	T 140.32	137.09	132.56	10'	15'	119.25
LP #39	T 140.60	137.09	132.78	10'	15'	119.25
LP #40	T 140.88	137.09	133.00	10'	15'	119.25
LP #41	T 140.16	137.09	133.22	10'	15'	119.25
LP #42	T 142.44	137.09	133.44	10'	15'	119.25
LP #43	T 144.14	137.09	133.66	10'	15'	119.25
LP #44	T 143.67	137.09	134.30	10'	15'	120.50
LP #45	T 144.72	137.09	134.08	10'	15'	120.50
LP #46	T 141.53	137.09	133.86	10'	15'	120.50
LP #47	T 141.41	137.09	134.08	10'	15'	120.50
LP #48	T 141.30	137.09	134.30	10'	15'	120.50
LP #49	T 141.70	137.09	134.08	10'	15'	120.50
LP #50	T 141.15	137.09	134.15	10'	15'	120.00
LP #51	T 141.55	137.09	133.93	10'	15'	120.00
LP #52	T 142.15	137.09	133.71	10'	15'	120.00
LP #53	T 141.60	137.09	133.93	10'	15'	120.00
LP #54	T 142.00	137.09	134.15	10'	15'	120.00
LP #55	G 142.63	137.09	135.63	10'	15'	121.50
LP #56	T 153.99	145.00	143.75	10'	15'	130.00
LP #57	T 153.71	145.00	143.53	10'	15'	130.00
LP #58	G 153.10	145.00	143.31	10'	15'	130.00
LP #59	G 152.50	145.00	143.13	10'	15'	130.00
LP #60	G 152.85	145.00	143.13	10'	15'	130.00
LP #61	T 153.00	145.00	139.62	10'	15'	130.00
LP #62	G 152.50	145.00	139.40	10'	15'	130.00
LP #63	G 152.80	145.00	139.18	10'	15'	130.00
LP #64	T 153.20	145.00	138.96	10'	15'	130.00
LP #65	G 145.74	145.00	138.74	10'	15'	130.00
LP #66	T 146.54	145.00	138.96	10'	15'	130.00
LP #67	T 152.80	145.00	139.18	10'	15'	130.00
LP #68	T 150.50	145.00	139.40	10'	15'	130.00
LP #69	T 151.00	145.00	139.62	10'	15'	130.00
LP #70	T 151.89	145.00	139.84	10'	15'	130.00

STRUCTURE	TOP/GRATE	HIGHWATER LEVEL	INVERT	DIA.	EFF. DEPTH	BOT.
LP #71	T 152.96	145.00	139.96	10'	15'	130.00
LP #72	T 153.76	145.00	140.46	10'	15'	130.00
LP #73	T 153.73	145.00	140.68	10'	15'	130.00
LP #74	T 153.76	145.00	140.90	10'	15'	130.00
LP #75	T 154.23	145.00	141.12	10'	15'	130.00
LP #76	T 154.69	145.00	141.34	10'	15'	130.00
LP #77	T 155.46	145.00	141.56	10'	15'	130.00
LP #78	T 155.23	145.00	141.78	10'	15'	130.00
LP #79	G 156.67	156.67	153.57	10'	15'	135.90
LP #80	T 156.98	156.67	153.79	10'	15'	135.90
LP #81	T 158.51	156.67	153.91	10'	15'	135.90
LP #82	T 158.71	156.67	153.69	10'	15'	135.90
LP #83	T 159.66	156.67	153.69	10'	15'	135.90
LP #84	T 159.86	156.67	153.47	10'	15'	135.90
LP #85	T 159.96	156.67	153.47	10'	15'	135.90
LP #86	T 160.16	156.67	153.25	10'	15'	135.90
LP #87	G 158.36	158.18	151.40	10'	15'	137.40
LP #88	G 158.18	158.18	151.18	10'	15'	137.40
LP #89	G 158.24	158.18	151.40	10'	15'	137.40
LP #90	G 151.56	151.56	147.56	10'	15'	130.80
LP #91	T 148.87	145.00	142.38	10'	15'	127.00
LP #92	T 148.34	145.00	142.60	10'	15'	127.00
LP #93	T 146.80	145.00	142.16	10'	15'	126.00
LP #94	T 147.89	145.00	142.87	10'	15'	126.00
LP #95	T 147.23	145.00	141.90	10'	15'	126.00
LP #96	T 148.37	145.00	141.68	10'	15'	127.00
LP #97	T 150.45	145.00	141.90	10'	15'	127.00
LP #98	G 148.97	148.97	144.97	10'	15'	128.00
LP #99	T 159.79	154.28	150.56	10'	15'	134.00
LP #100	T 158.92	154.28	150.34	10'	15'	134.00
LP #101	T 158.16	154.28	150.12	10'	15'	134.00
LP #102	T 157.34	154.28	150.34	10'	15'	134.00
LP #103	T 156.53	154.28	150.56	10'	15'	134.00
LP #104	T 155.89	154.28	150.34	10'	15'	134.00
LP #105	T 154.86	154.28	150.56	10'	15'	134.00
LP #106	T 155.97	154.28	150.34	10'	15'	134.00
LP #107	T 156.73	154.28	150.76	10'	15'	134.00
LP #108	T 157.49	154.28	150.98	10'	15'	134.00
LP #109	T 158.25	154.28	151.20	10'	15'	134.00
LP #110	T 159.02	154.28	150.98	10'	15'	134.00
LP #111	T 159.78	154.28	151.42	10'	15'	137.00
LP #112	T 159.41	154.28	151.20	10'	15'	137.00
LP #113	T 158.76	154.28	151.42	10'	15'	134.00
LP #114	T 158.10	154.28	151.64	10'	15'	134.00
LP #115	T 157.45	154.28	151.86	10'	15'	134.00
LP #116	T 156.63	154.28	152.08	10'	15'	134.00
LP #117	G 155.84	154.28	151.64	10'	15'	134.00
LP #118	G 155.80	154.28	151.86	10'	15'	134.00
LP #119	T 156.94	154.28	152.08	10'	15'	134.00
LP #120	T 156.91	154.28	151.86	10'	15'	134.00
LP #121	T 158.21	154.28	150.36	10'	15'	134.00
LP #122	T 158.82	154.28	150.14	10'	15'	134.00
LP #123	T 159.44	154.28	149.92	10'	15'	137.00
LP #124	T 160.05	154.28	149.70	10'	15'	137.00
LP #125	T 160.67	154.28	149.48	10'	15'	137.00
LP #126	T 160.78	154.28	149.70	10'	15'	137.00
LP #127	T 161.38	154.28	149.48	10'	15'	137.00
LP #128	T 161.92	154.28	149.70	10'	15'	137.00
LP #129	T 161.38	154.28	149.92	10'	15'	137.00
LP #130	T 160.69	154.28	152.34	10'	15'	137.00
LP #131	T 160.04	154.28	152.56	10'	15'	137.00
LP #132	T 159.40	154.28	E 154.87 N 154.77 W 152.78	10'	15'	137.00
LP #133	T 158.43	154.28	W 154.77 E 152.78	10'	15'	134.00
LP #134	G 157.99	154.28	152.56	10'	15'	134.00
LP #135	T 158.07	154.28	152.34	10'	15'	134.00
LP #136	T 159.21	154.28	152.56	10'	15'	137.00
LP #137	T 159.75	154.28	150.26	10'	15'	137.00
LP #138	T 160.29	154.28	150.14	10'	15'	137.00
LP #139	T 160.83	154.28	149.92	10'	15'	137.00

	STRUCTURE	TOP/GRATE	HIGHWATER LEVEL	INVERT	DIA.	EFF. DEPTH	BOT.
DA #II	LP #140	T 161.37	154.28	149.70	10'	15'	134.00
	LP #141	T 161.91	154.28	149.92	10'	15'	137.00
	LP #142	T 162.45	154.28	150.14	10'	15'	137.00
	LP #143	T 163.05	154.28	W 155.59 E 150.36	10'	15'	138.00
DA #IV	LP #144	T 156.67	156.26	152.66	10'	15'	135.75
	LP #145	T 157.27	156.26	152.44	10'	15'	135.75
	LP #146	T 157.88	156.26	152.66	10'	15'	135.75
	LP #147	T 159.85	159.18	155.58	10'	15'	138.00
	LP #148	T 160.88	159.18	155.68	10'	15'	138.00
	LP #149	T 161.06	159.18	155.36	10'	15'	138.00
	LP #150	T 161.36	159.18	155.24	10'	15'	138.00
	LP #151	T 161.25	159.18	155.24	10'	15'	138.00
	LP #152	T 160.96	159.18	155.36	10'	15'	138.00
	LP #153	T 161.25	159.18	155.58	10'	15'	138.00
	LP #154	T 163.00	154.28	152.04	10'	15'	138.00
	LP #155	T 162.40	154.28	152.43	10'	15'	138.00
	LP #156	T 162.25	154.28	152.43	10'	15'	138.00
	LP #157	T 162.05	154.28	152.21	10'	15'	138.00
	LP #158	T 161.90	154.28	152.43	10'	15'	138.00
	LP #159	T 161.75	154.28	152.21	10'	15'	138.00
DA #III	LP #160	T 161.30	154.28	152.43	10'	15'	138.00
	LP #161	T 161.58	154.28	152.21	10'	15'	138.00
	LP #162	G 161.25	154.28	151.99	10'	15'	138.00
	LP #163	G 161.25	154.28	152.21	10'	15'	138.00
	LP #164	T 169.50	154.28	152.43	10'	15'	138.00
	LP #165	T 167.25	154.28	152.87	10'	15'	138.00
	LP #166	T 161.75	154.28	152.43	10'	15'	138.00
	LP #167	T 161.55	154.28	152.21	10'	15'	138.00
	LP #168	T 161.51	154.28	152.43	10'	15'	138.00
	LP #169	T 160.47	154.28	152.21	10'	15'	138.00
	LP #170	T 161.40	159.18	151.99	10'	15'	138.00
	LP #171	T 164.70	159.18	152.43	10'	15'	138.00
	LP #172	T 163.23	159.18	152.63	10'	15'	138.00
	LP #173	T 160.70	154.28	152.21	10'	15'	138.00
	LP #174	T 160.38	154.28	152.43	10'	15'	138.00
	LP #175	T 160.50	154.28	152.43	10'	15'	138.00
DA #I	LP #176	T 170.25	154.28	166.86	10'	15'	147.00
	LP #177	T 170.00	154.28	166.64	10'	15'	147.00
	LP #178	T 172.70	154.28	166.64	10'	15'	147.00
	LP #179	G 168.00	154.28	166.42	10'	15'	147.00
	LP #180	T 168.00	154.28	166.64	10'	15'	147.00
	LP #181	T 168.93	154.28	164.38	10'	15'	148.00
	LP #182	T 169.75	154.28	164.60	10'	15'	148.00
	LP #183	T 170.00	154.28	164.38	10'	15'	147.00
LP #184	T 172.47	154.28	166.00	10'	15'	147.00	



SITE LIGHTING DETAIL
NOTE: SEE LUMINAIRE SCHEDULE THIS SHEET



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CALCULATION SUMMARY									
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN AVE/MIN
ISLANDIA VILLAGE CENTER	1345.10x792.70FT	Grade / H-H	3111	10.00	<+>	2.83	11.16	0.51	22.02 5.58

Islandia Village Center (Ivc) LUMINAIRE SCHEDULE							
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
252	■	BEACON PRODUCTS (2) CAP30-FGC-MH25-G-SR2-NRNV	(2) 250 MH	23000	Pole # VNY/F/18/SQ Arm # AA41-C-T	0.75	19
S1	☼	BEACON PRODUCTS CAP21-FGC-MH17-D-SR3-NRNV	(1) 175 MH	14000	Pole # VNY/F/10/SQ Arm # AA41-B-T	0.75	4
S2	☼	BEACON PRODUCTS CAP30-FGC-MH25-G-SR2-NRNV	(1) 250 MH	23000	Pole # VNY/F/18/SQ Arm # AA41-B-T	0.75	58
S3	☼	BEACON PRODUCTS CAP30-FGC-MH25-G-SR3-NRNV	(1) 250 MH	23000	Pole # VNY/F/18/SQ Arm # AA41-B-T	0.75	4
W	○	SPERO ELECTRIC RO-SC/6210-42L/RLT31/SCGN32	(1) F32 PLT	2400	WALL MOUNTED ABOVE SIGNAGE	0.75	68

4.	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
3.	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2.	1-19-08	REVISED CONDOOR FROM 7 STORIES TO 6 STORIES	NDH
1.	12-07-07	REVISED FIRE DISTRICT	JC
No.	DATE	REVISION	BY

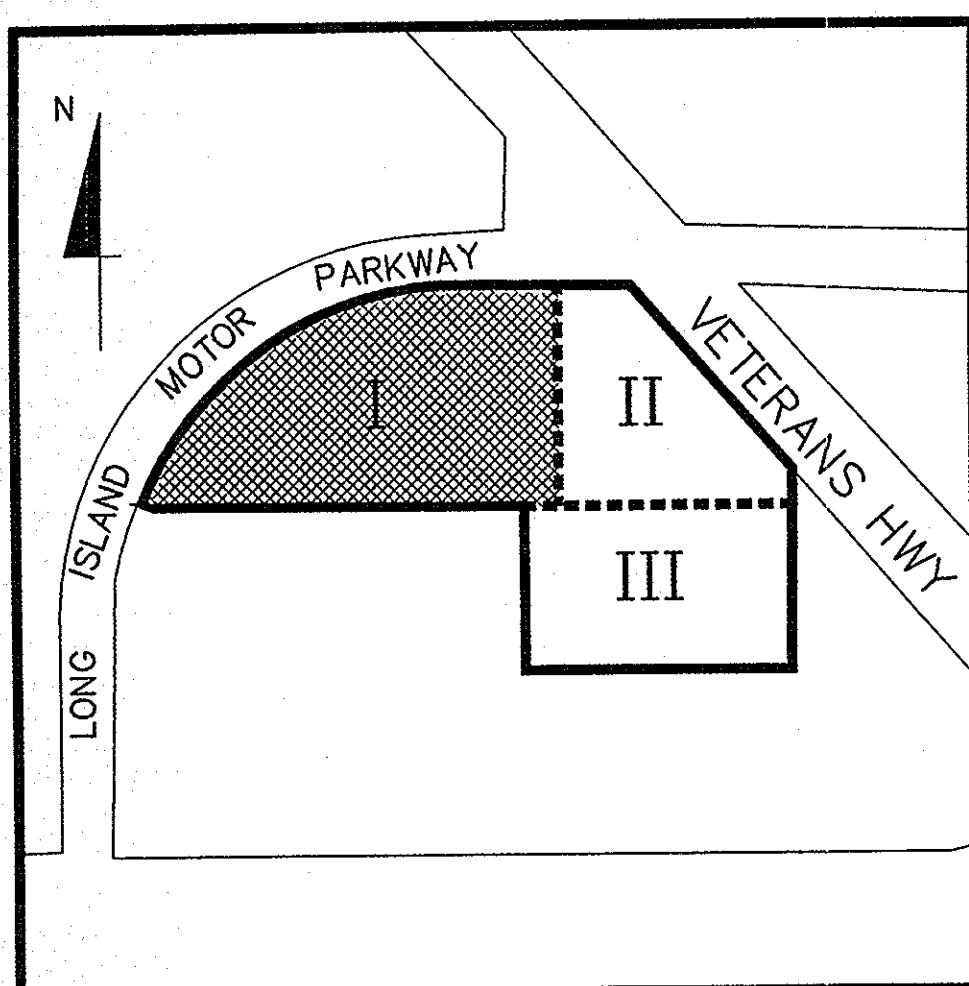
09/05/08

THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

NELSON & POPE
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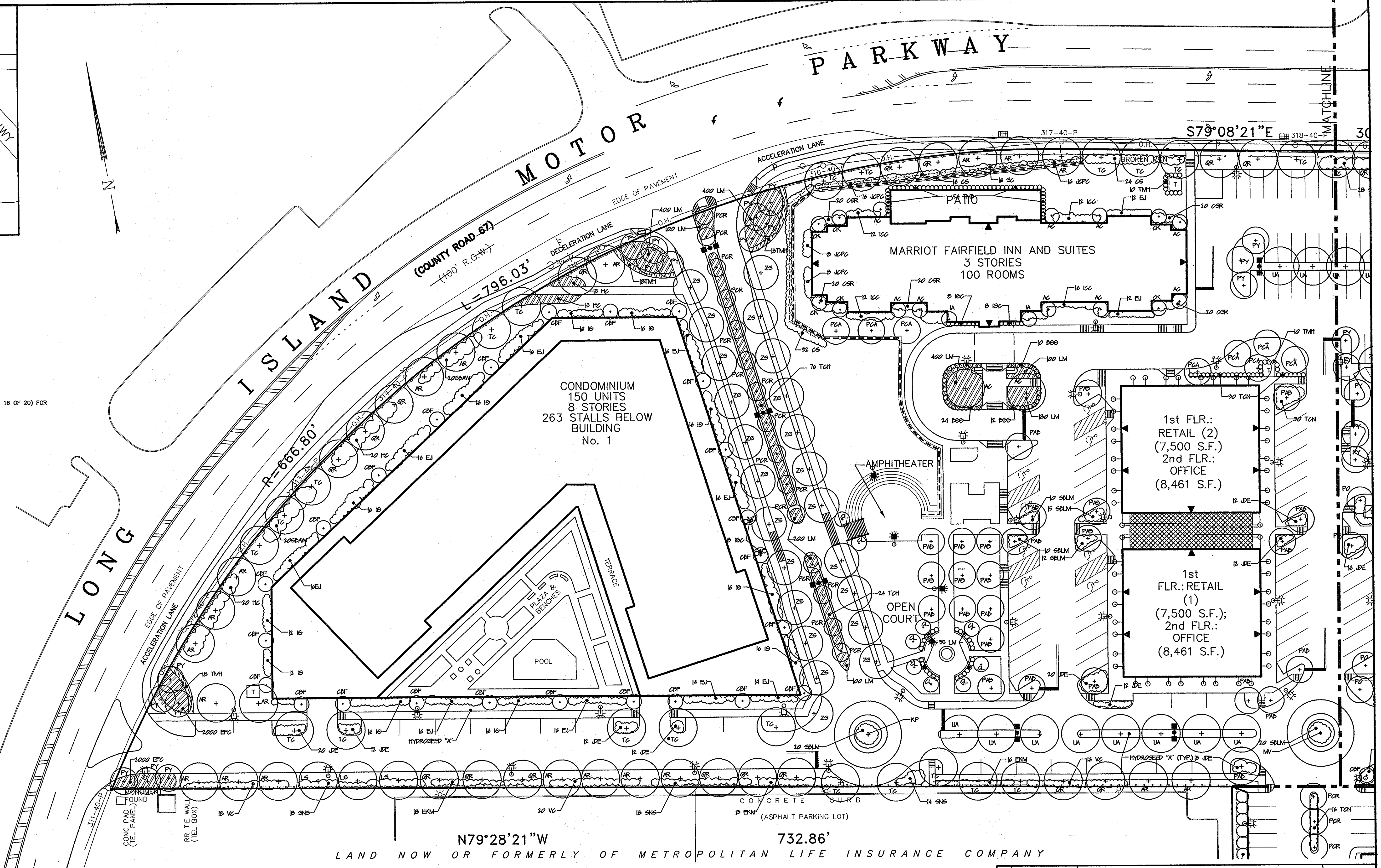
DWN BY:	JC II
DSGN BY:	WH
DATE:	9-1-07
CHK'D BY:	TCD
DATE:	10-2-07
JOB No:	97086
FILE No:	
CADD:	97086_SF
SCALE:	AS SHOWN
SHEET:	13 OF 20

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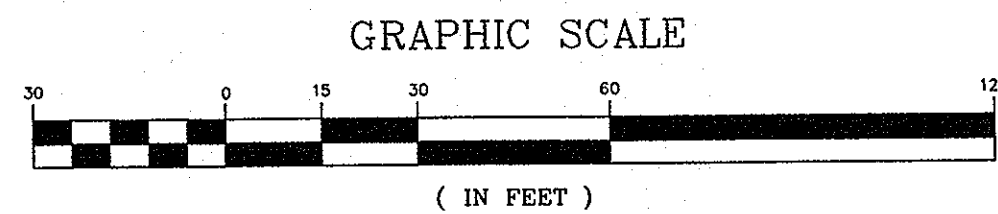
SHEET INDEX

NOTE:
SEE LANDSCAPE PLAN III AND SCHEDULES (SHT. 16 OF 20) FOR
PLANTING QUANTITIES AND SCHEDULE



TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

NOTE:
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R.B. IGNATOW
LANDSCAPE ARCHITECT
41 GREEN ST.
HUNTINGTON, NY 11743

1	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
2	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
3	1-16-08	REVISED CONDO'S FROM 7 STORIES TO 8 STORIES	MDH
4	12-07-07	NO REVISION THIS SHEET	JC
5			BY
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7			
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LANDSCAPING PLAN I
FOR
ISLANDIA VILLAGE CENTER
SITUATED AT
THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 204, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

NELSON & POPE
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(631) 427-5665 FAX (631) 427-5620 www.nelsonpope.com

DWN BY: JC II
DSGN BY: WH
DATE: 9-1-07
CHKD BY: TCD
DATE: 10-2-07
JOB No: 97086
FILE No:
CADD: 97086E_SP
SCALE: 1" = 30'
SHEET: 14 OF 20

Diagram illustrating the installation of a B&B (Burlap and Basking) root ball, showing the tree, root ball, and surrounding structure.

Instructions and Labels:

- PRUNE ONLY BROKEN OR DEAD BRANCHES, CO-DOMINANT LEADERS AND CROSS OVER LIMBS. ON EVERGREENS DO NOT CUT OR DAMAGE LEADER.
- WRAP TRUNKS OF THIN BARKED DECIDUOUS TREES ONLY WITH APPROVED TREE WRAP, REMOVE AFTER ONE YEAR.
- RUBBER HOSE
- WIRE GUYS
- FLAGGING
- 2 STAKES 2"x2"x8' LONG OUTSIDE ROOT BALL WITH ONE ON SIDE OF PREVAILING WINDS (DECIDUOUS TREES ONLY)
- CROWN OF ROOT BALL SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT DID TO PREVIOUS GRADE. (IN SLOW DRAINING SOILS SET 1" TO 2" HIGHER)
- 2" MULCH OVER ENTIRE HOLE (5" DIA. MIN). KEEP AWAY FROM TRUNK.
- CREATE RAISED SAUCER AROUND EDGE OF ROOT BALL. REMOVE AFTER ONE YEAR.
- CUT AND REMOVE TOP 1/3 OF BURLAP, TWINE AND WIRE BASKET FROM ROOT BALL.
- B&B ROOT BALL
- BACKFILL MIX SHALL BE 75% NATIVE SOIL AND 25% COMPOST AMENDMENT. CONTRACTOR SHALL BACKFILL WITH TOPSOIL IN CLAY OR SILT CONDITIONS, OR WHERE EXISTING SOIL IS NOT SUITABLE.
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY W/FOOT PRESSURE TO PREVENT SHIFTING OF ROOT BALL.
- EXISTING SUB GRADE. TO AVOID SETTLING DO NOT EXCAVATE BENEATH ROOT BALL.

TREE PLANTING DETAIL
N.T.S.

CLEANLY PRUNE ONLY DAMAGED, DISEASED AND/OR WEAK BRANCHES.

FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT.

CREATE SAUCER AROUND ROOT BALL.

MULCH OVER ENTIRE PLANTING HOLE. KEEP AWAY FROM STEMS.

BACKFILL MIX SHALL BE 75% NATIVE SOIL AND 25% COMPOST AMENDMENT. WHERE UNSUITABLE SOILS EXIST, BACKFILL WITH TOPSOIL.

CAREFULLY REMOVE TOP $\frac{1}{2}$ OF BURLAP. REMOVE CONTAINERS COMPLETELY.

OUT SEVERAL SITS IN BURLAP TO FACILITATE ROOT PENETRATION.

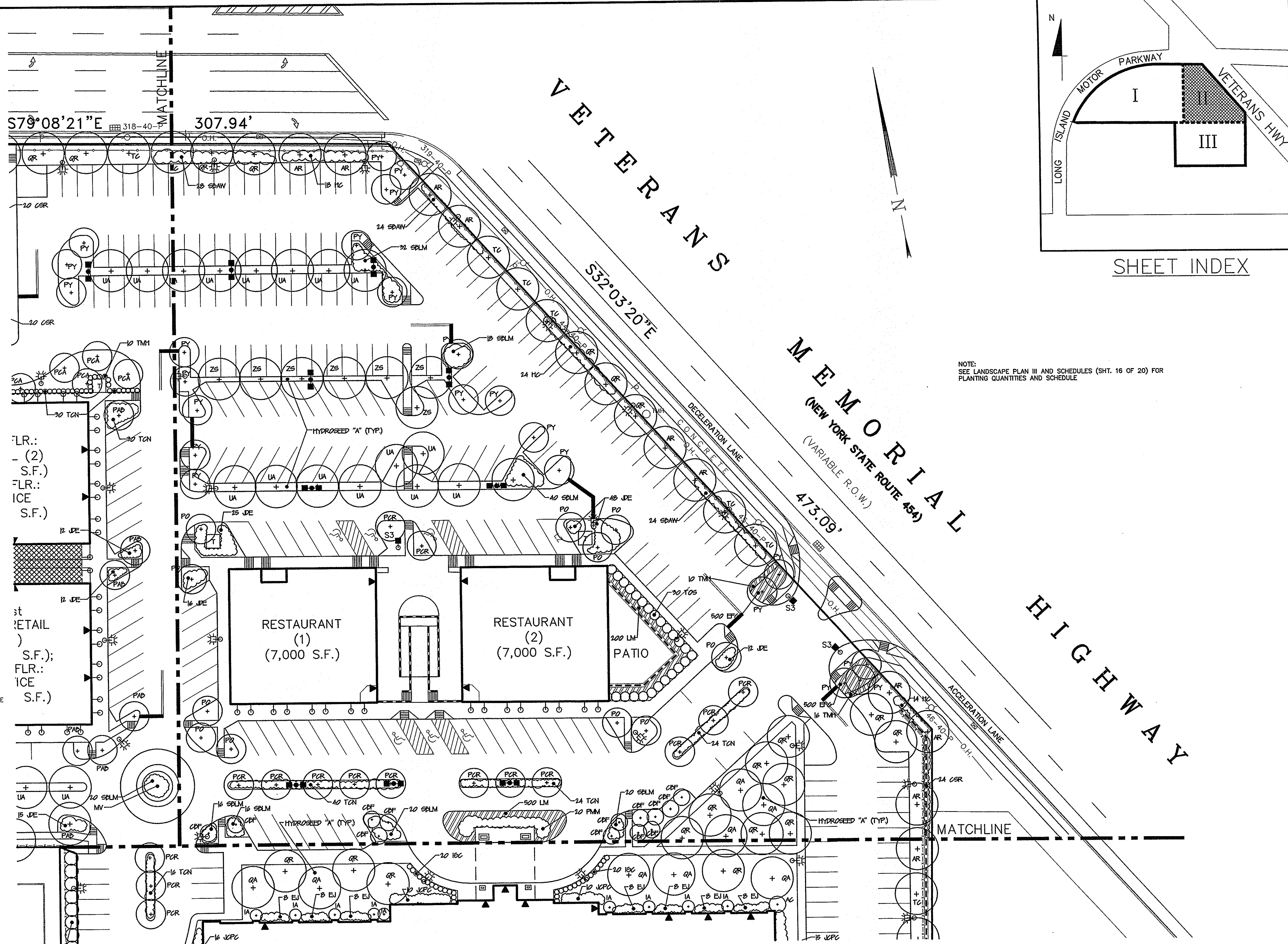
PLANT AT NURSERY GRADE

EXISTING SUBGRADE, TO AVOID SETTLING DO NOT EXCAVATE DEEPER THAN ROOTS.

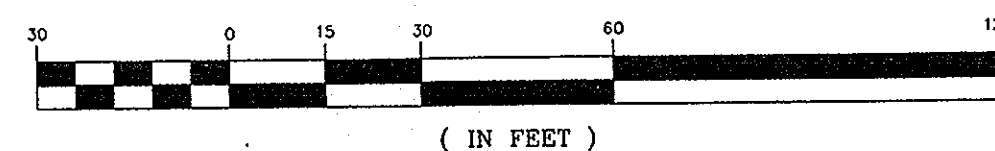
SHRUB PLANTING
N.T.S.

TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

NOTE:
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GRAPHIC SCALE



R.B. IGNATOW
LANDSCAPE ARCHITECT
91 GREEN ST.
HUNTINGTON, NY 11843

4.	09-02-08	REVISED PER DEIS COMMENTS FOR PERIOD ENDING 08-15-08	RES
3.	04-29-08	REVISED PER VILLAGE DEIS COMMENTS	AV
2.	1-16-08	NO REVISION THIS SHEET	MDH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:



LANDSCAPING PLAN II AND DETAILS

FOR

ISLANDIA VILLAGE CENTER

SITUATED AT

THE INCORPORATED VILLAGE OF ISLANDIA

TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK

DISTRICT 604, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

DWN. BY: JC

DSGN. BY: WH

DATE: 9-1-07

CHK'D BY: TCH

DATE: 10-2-07

JOB No.: 9708E

FILE No.:

CADD: 97086E_S

SCALE: AS SHOWN

SHEET: 15 OF 25



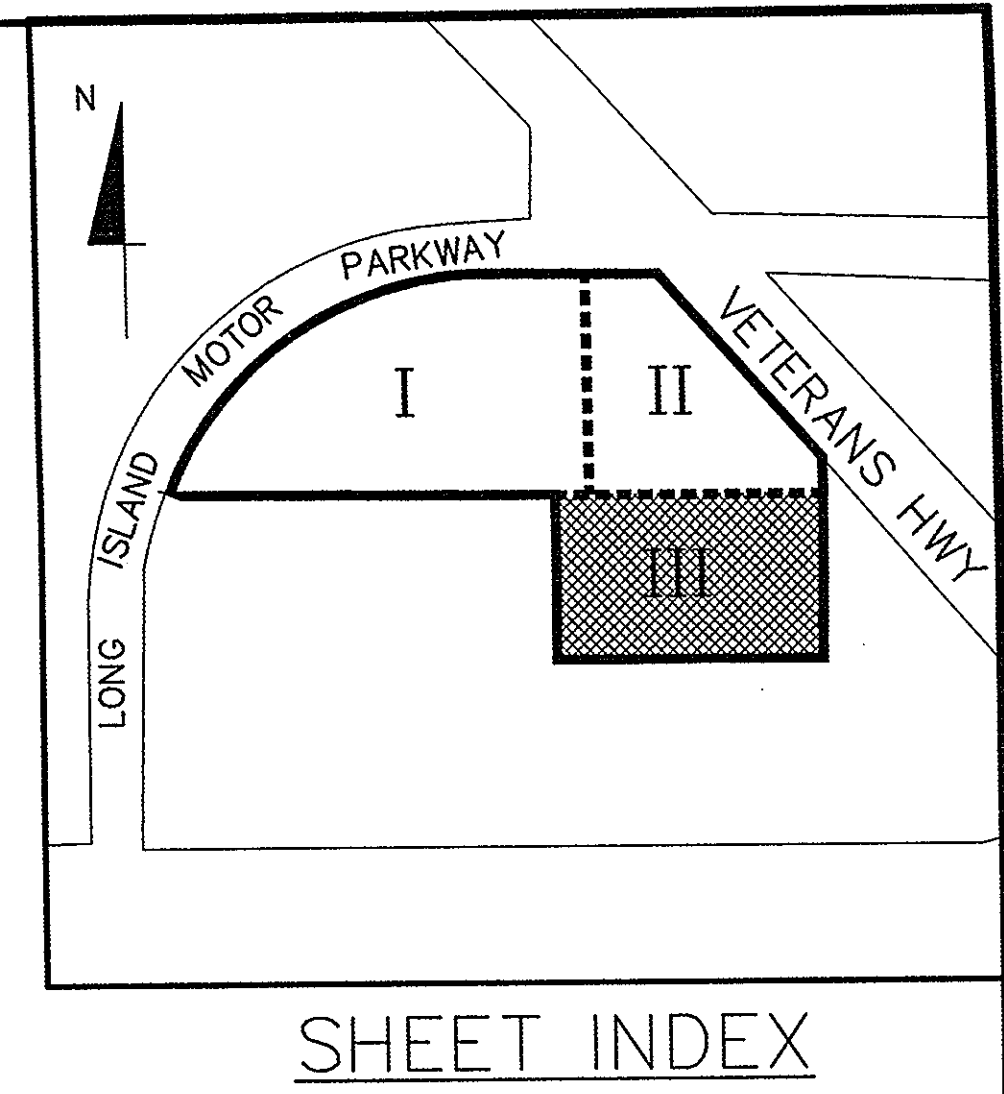
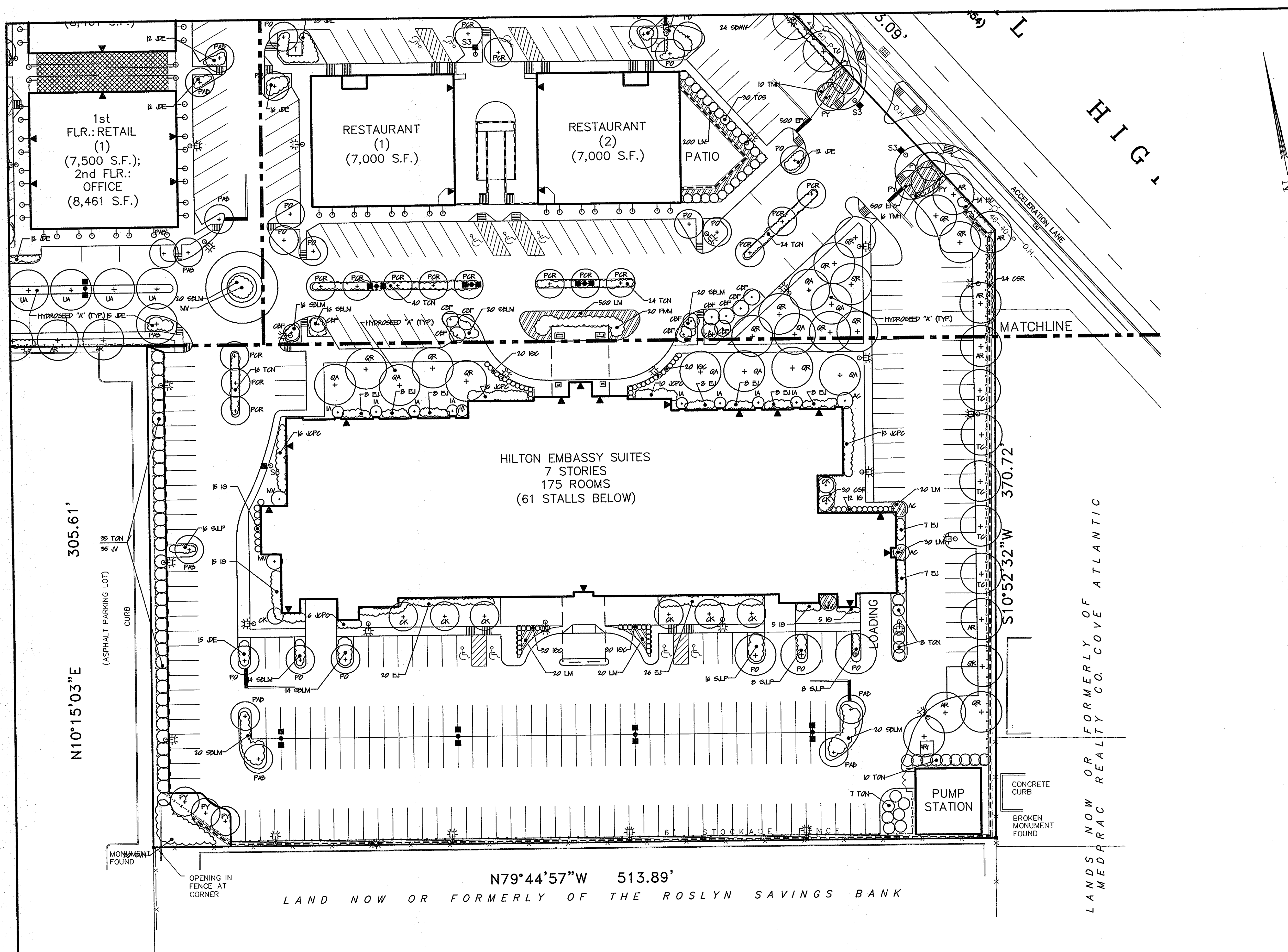
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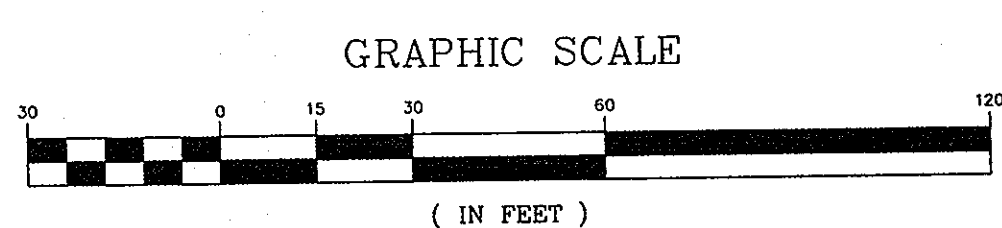
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[illegible]



TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE.
DATED: 2-21-00 REVISED: 3-22-05

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HUNTINGTON, NY 11743

4	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
3	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2	1-16-08	NO REVISION THIS SHEET	MDH
1	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:

LANDSCAPING PLAN III AND SCHEDULE
FOR
ISLANDIA VILLAGE CENTER
SITUATED AT
THE INCORPORATED VILLAGE OF ISLANDIA
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK
DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10

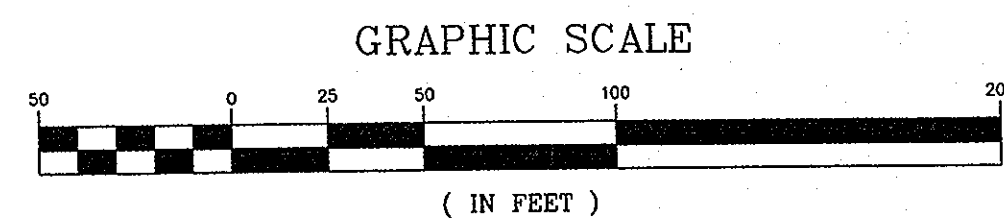
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FILE No:
CADD: 97086E_SP
SCALE: AS SHOWN
SHEET: 16 OF 20

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TOPOGRAPHIC SURVEY INFORMATION FROM MAP BY NELSON & POPE
DATED 06-19-06
BOUNDARY INFORMATION FROM SURVEY BY NELSON & POPE
DATED: 2-21-00 REVISED: 3-22-05

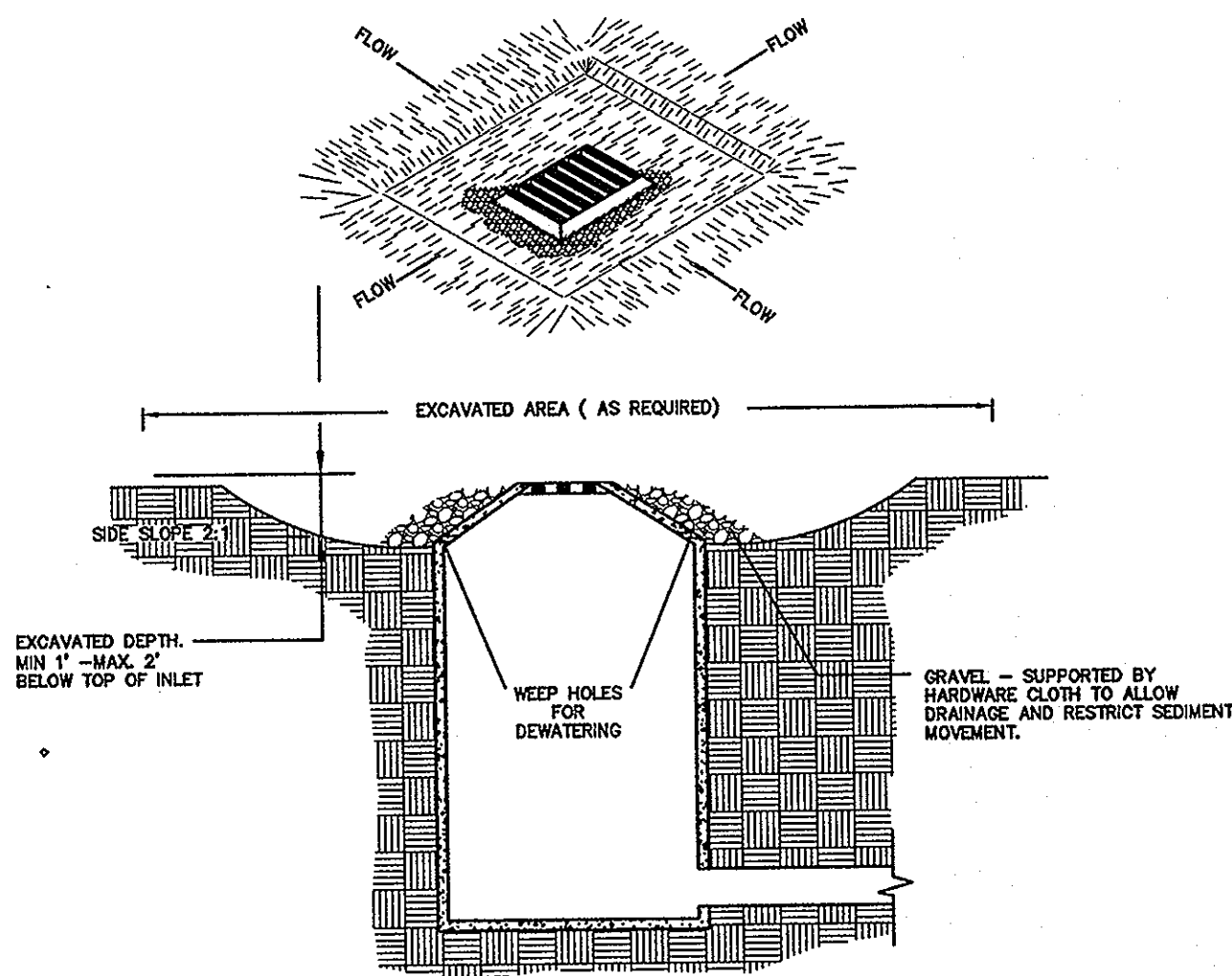
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4.	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	RES
3.	04-29-08	REVISED PER VILLAGE DES COMMENTS	AV
2.	1-16-08	REVISED CONDOS FROM 7 STORIES TO 8 STORIES	ACH
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY
EROSION CONTROL PLAN FOR ISLANDIA VILLAGE CENTER SITUATED AT THE INCORPORATED VILLAGE OF ISLANDIA TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			DWN BY: JC II
			DSGN BY: WH
			DATE: 9-1-07
			CHK'D BY: TCD
			DATE: 10-2-07
			JOB No: 97086
			FILE No:
			CADD: 97086E_SF
			SCALE: 50' = 1"
			SHEET: 17 OF 20

09/05/08

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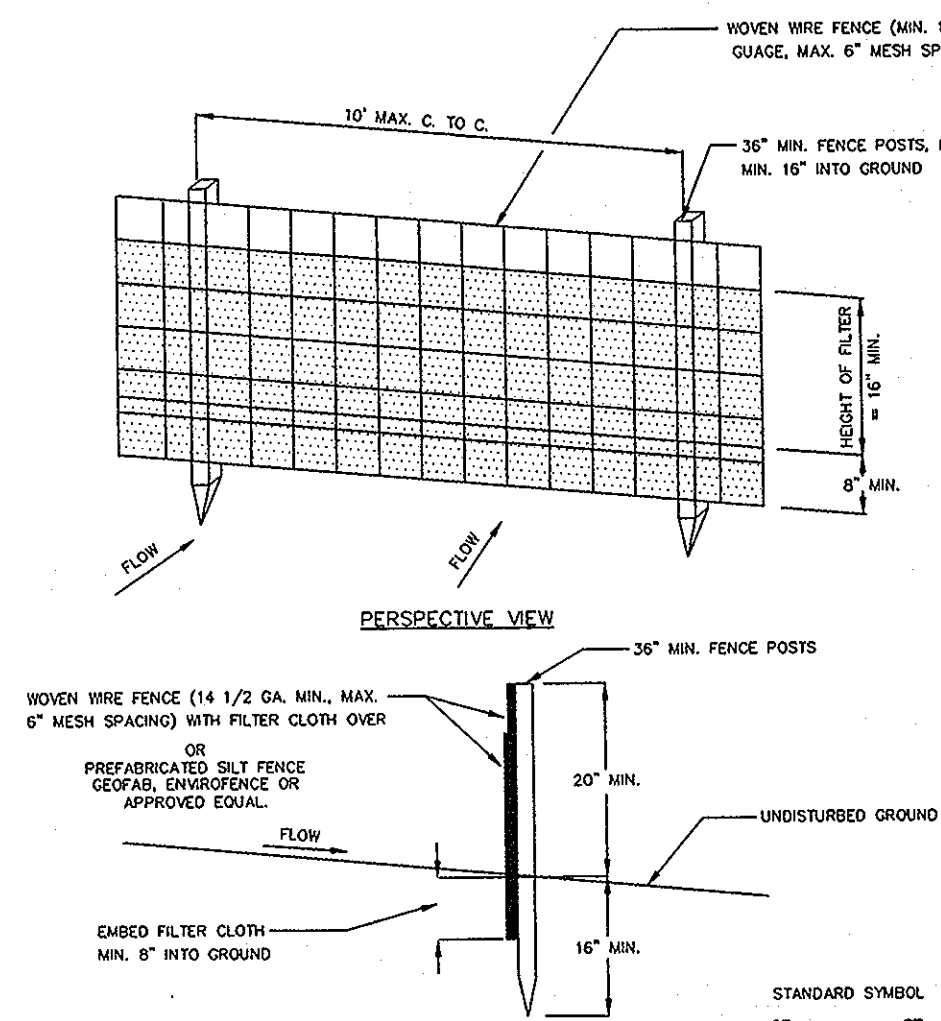


EXCAVATED DROP INLET PROTECTION
N.T.S.

CONSTRUCTION SPECIFICATIONS

1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES. FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

MAXIMUM DRAINAGE AREA 1 ACRE

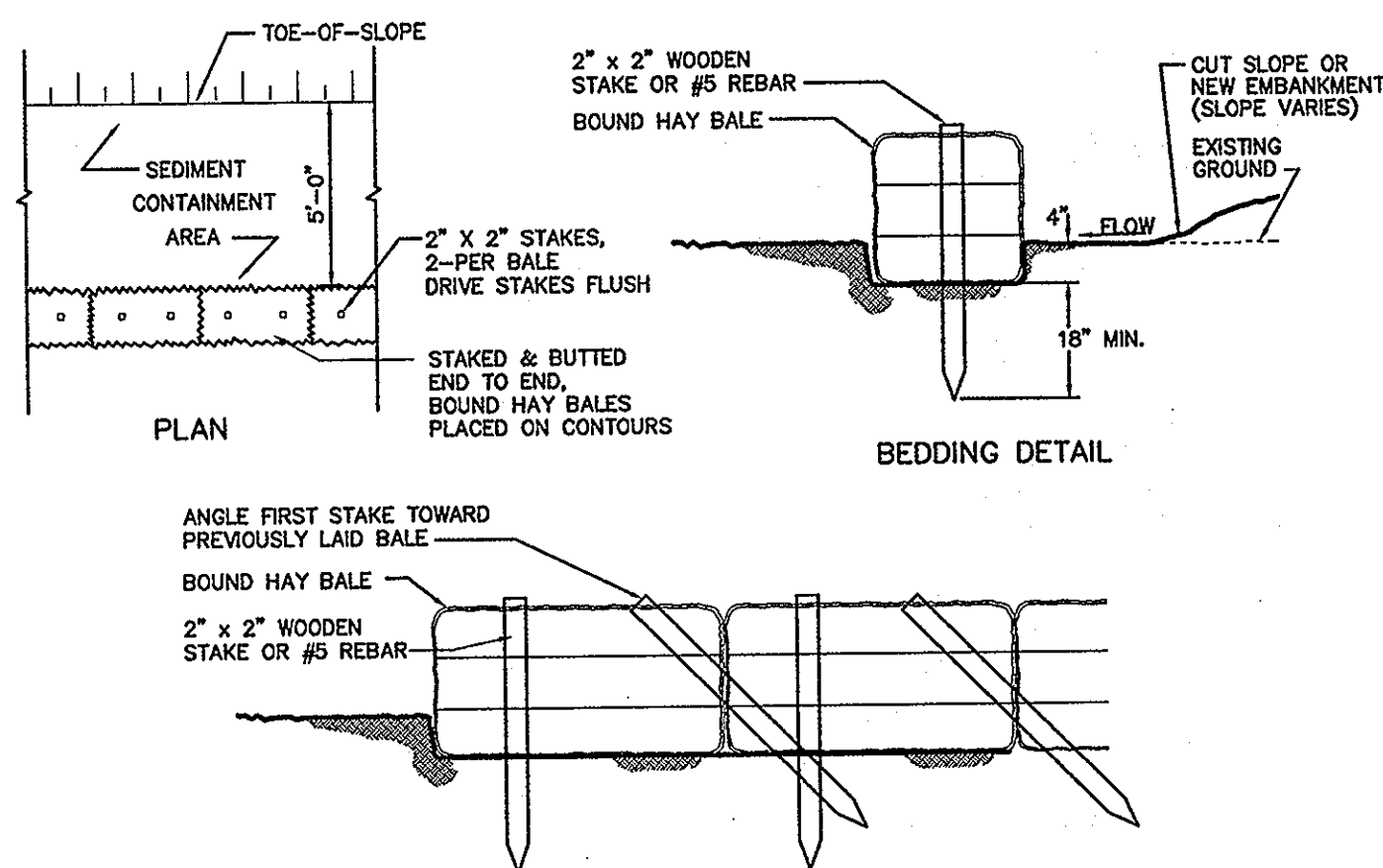


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

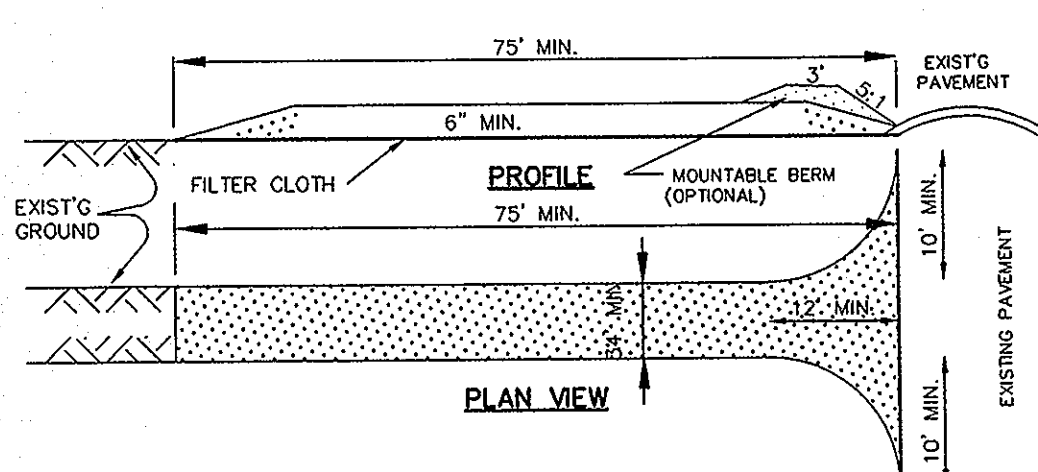
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

SILT FENCE DETAIL

N.T.S.



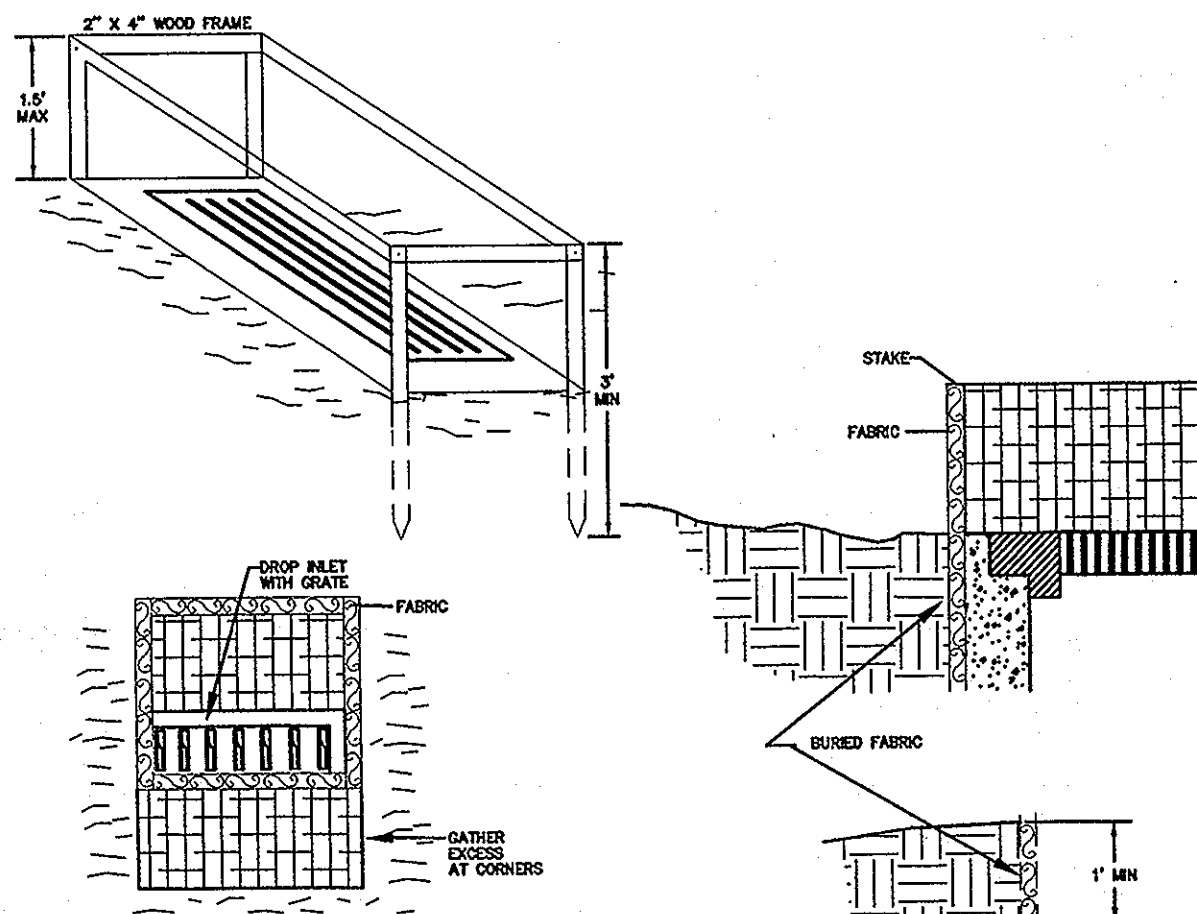
STAKED HAYBALE DETAIL
N.T.S.



1. STONE SIZE - USE 2\"/>

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



FILTER FABRIC DROP INLET PROTECTION

N.T.S.

CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE EVENLY WILL BE STANDARD 2\"/>

MAXIMUM DRAINAGE AREA 1 ACRE

DUST CONTROL NOTES

N.T.S.

DEFINITION

THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES.

PURPOSE

TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

CONDITIONS WHERE PRACTICE APPLIES

ON CONSTRUCTION ROADS, ACCESS POINTS, AND OTHER DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND DUST BLOWING WHERE OFF-SITE DAMAGE MAY OCCUR IF DUST IS NOT CONTROLLED.

DESIGN CRITERIA

CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME. BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL. TEMPORARY OR PERMANENT STABILIZATION MEASURES SHOULD BE INSTALLED. NO SPECIFIC DESIGN CRITERIA IS GIVEN; SEE CONSTRUCTION SPECIFICATIONS BELOW FOR COMMON METHODS OF DUST CONTROL.

CONSTRUCTION SPECIFICATIONS

VEGETATIVE COVER - FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL. TEMPORARY SEEDING SHALL BE AS FOLLOWS:

A) RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (0.7 LBS./1000 SF)

B) CERTIFIED "ARODSTOCK" WINTER RYE (CEREAL RYE) AT 100 LBS. PER ACRE (2.5 LBS/SF)

USE WINTER RYE IF SEEDING IN OCTOBER/NOVEMBER.

MULCH (INCLUDING GRAVEL, MULCH) - MULCH OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST.

SPRAY ADHESIVES - EXAMPLES OF SPRAY ADHESIVES FOR USE ON MINERAL SOILS ARE SHOWN IN THE FOLLOWING TABLE:

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ACRYLIC POLYMER	9:1	COURSE SPRAY	500
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

WATER QUALITY SHOULD BE CONSIDERED WHEN MATERIALS ARE SELECTED FOR DUST CONTROL.

SPRINKLING - THE SITE MAY BE SPRAYED UNTIL THE SURFACE IS WET.

THIS IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND ACCESS ROUTES.

STONE USED FOR CONSTRUCTION ROADS IS ALSO EFFECTIVE FOR DUST CONTROL.

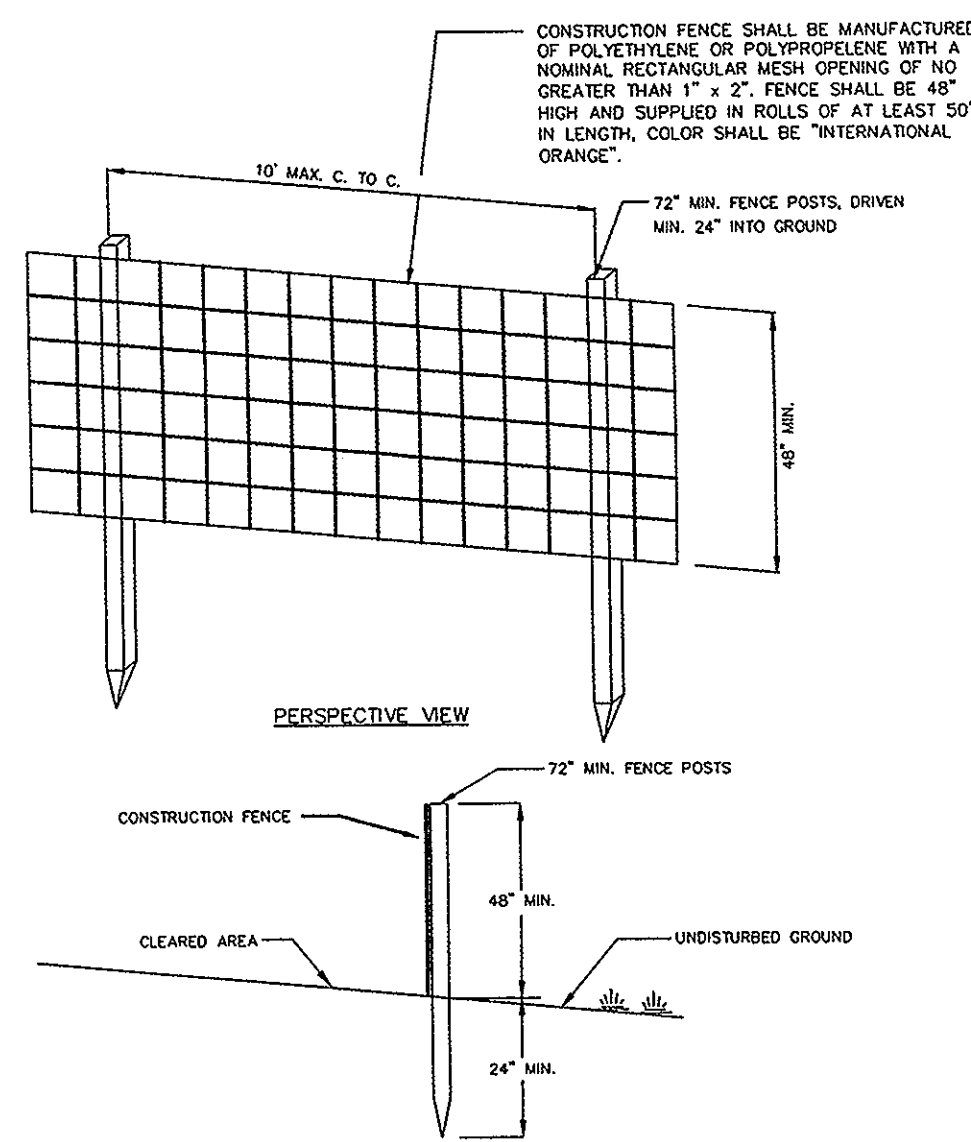
BARRIERS - A FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENTS AT

INTERVALS EQUAL TO FIFTEEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING

WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.

MAINTENANCE - MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL

ALL DISTURBED AREAS ARE STABILIZED.



CONSTRUCTION FENCE DETAIL
N.T.S.

CONSTRUCTION NOTES FOR PLASTIC FLORESCENT ORANGE FENCE

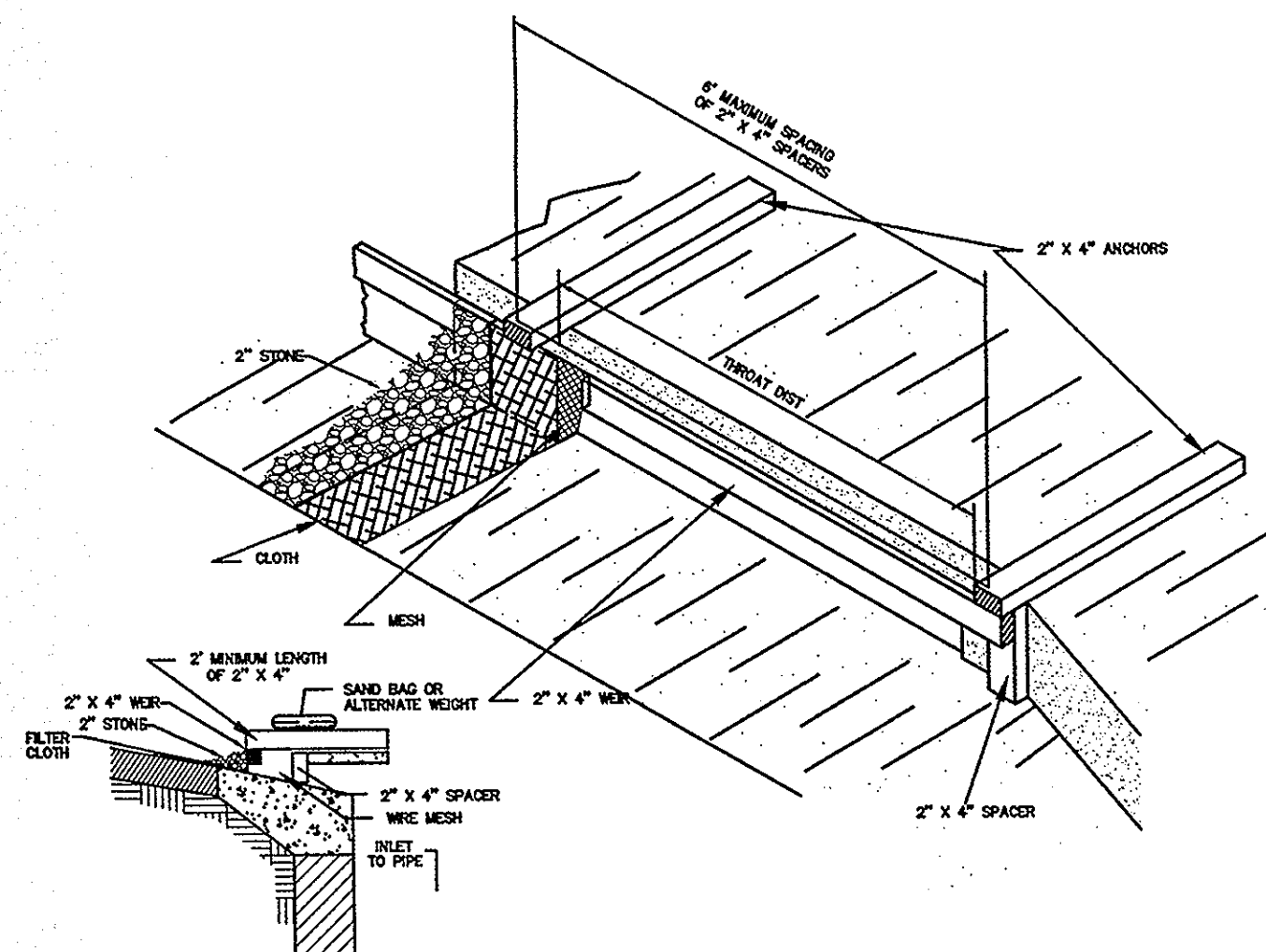
NOTES

- 1) THE CONTRACTOR SHALL INSTALL THE CONSTRUCTION FENCE IN LOCATIONS AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS OR MUNICIPAL AUTHORITIES.
- 2) THE PRIMARY PURPOSE OF THE CONSTRUCTION FENCE IS TO CLEARLY DELINEATE A CONSTRUCTION AREA AND PROVIDE SOME MEASURE OF PROTECTION FOR THE SURROUNDING NATURAL AREAS. IT IS NOT DESIGNED OR INTENDED TO BE AN IMPENETRABLE BARRIER TO THOSE INTENT ON ENTERING THE CONSTRUCTION SITE.

INSTALLATION

CONSTRUCTION FENCE SHALL BE INSTALLED BY WEAVING FENCE POSTS VERTICALLY THROUGH AT LEAST THREE (3) MESH OPENINGS (FOR MIDDLE AND BOTTOM OF FENCE) AND DRIVING POSTS WITH A SLS. HAND DRILLING HAMMER (OR EQUIVALENT) FLUSH WITH THE TOP OF FENCING. POSTS SHALL BE AT AN INTERVAL OF NO GREATER THAN TEN FEET. FENCING SHALL BE SECURED FIRMLY TO EACH POST AT THE TOP, BOTTOM AND MID-POINT WITH WIRE REBAR TIES. WHERE LENGTHS OF FENCING ARE JOINED, A POST SHALL BE WOVEN THROUGH BOTH FENCE SECTIONS AT THE JOINT, WITH TIES FASTENING BOTH FENCE SECTIONS TO THE POST. FENCING SHALL BE STRETCHED AS TIGHT AS PRACTICAL BETWEEN FENCE POSTS WITHOUT INORDINATELY DEFLECTING POSTS. TEMPORARY OPENINGS IN CONSTRUCTION FENCE INSTALLATIONS SHALL BE PERMITTED FOR ENTRY OF WORKERS, MATERIALS AND EQUIPMENT. SUCH OPENINGS SHALL BE SECURED AT THE END OF EACH WORK DAY IN THE MANNER AFOREMENTIONED FOR JOINING FENCE SECTIONS.

POSTS: STEEL EITHER T OR U TYPE OR 2\"/>



CURB GUTTER INLET PROTECTION STRUCTURE
N.T.S.

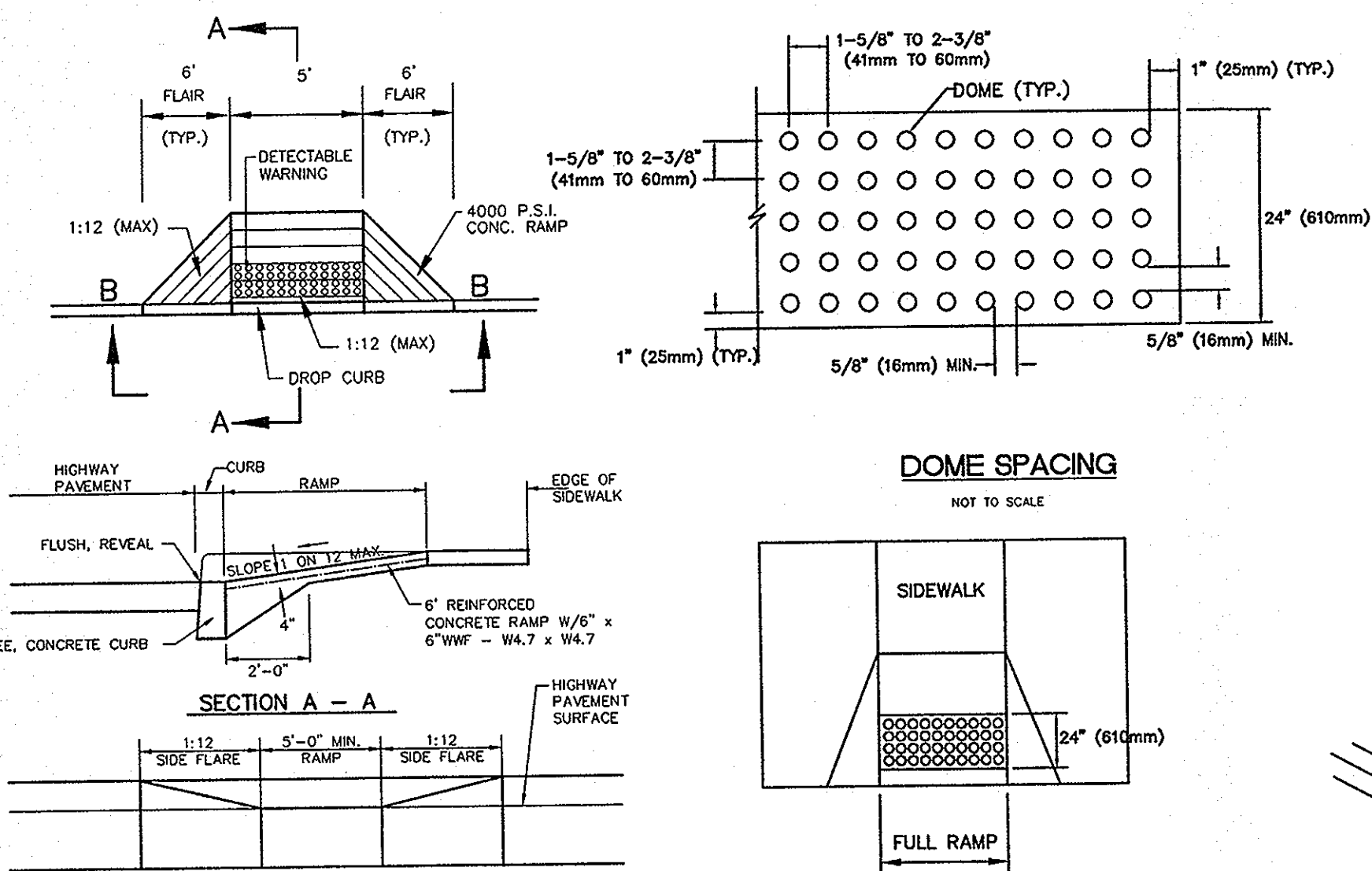
CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2\"/>

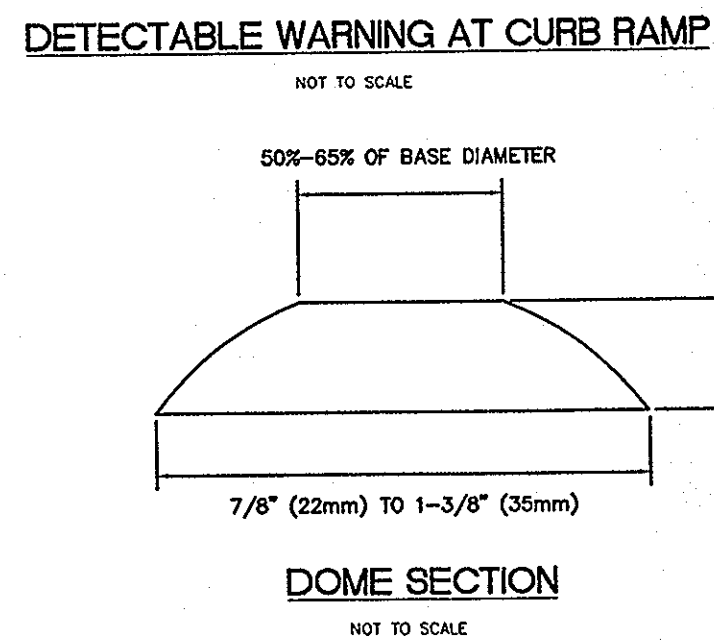
MAXIMUM DRAINAGE AREA 1 ACRE

4.	09-02-08	REVISED PER DSR COMMENTS FOR PERIOD ENDING 08-15-08	RES
3.	04-28-08	NO REVISION THIS SHEET	AV
2.	1-10-08	NO REVISION THIS SHEET	NDM
1.	12-07-07	NO REVISION THIS SHEET	JC
No.	DATE	REVISION	BY:
EROSION CONTROL DETAILS FOR ISLANDIA VILLAGE CENTER SITUATED AT THE INCORPORATED VILLAGE OF ISLANDIA TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK DISTRICT 504, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10			
NELSON & POPE ENGINEERS • SURVEYORS 572 WALT WHITMAN ROAD, MELVILLE, NY 11747-2888 (631) 427-5655 FAX (631) 427-5620 www.nelsonandpope.com			DWN BY: JC II DSGN BY: WH DATE: 9-1-07 CHKD BY: TCD DATE: 10-2-07 JOB No: 97086 FILE No: - CADD: 97086E_SP SCALE: AS SHOWN SHEET: 18 OF 20

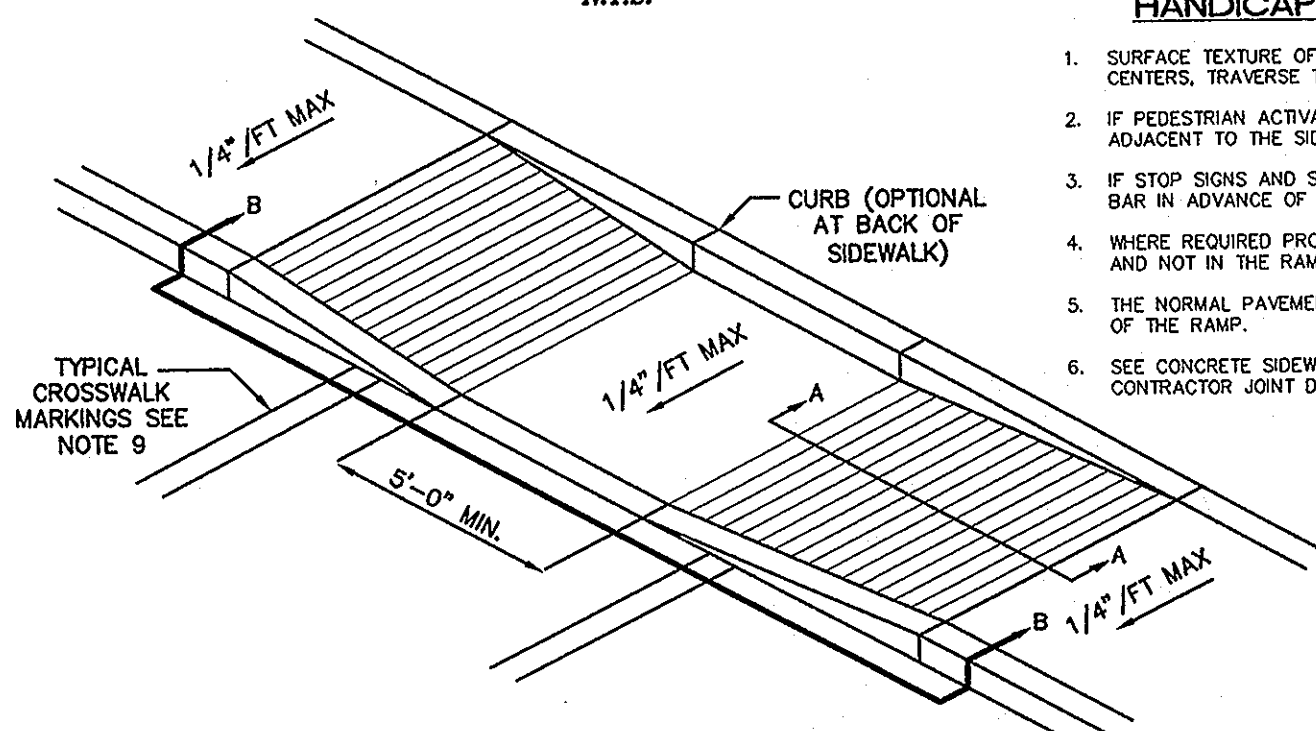
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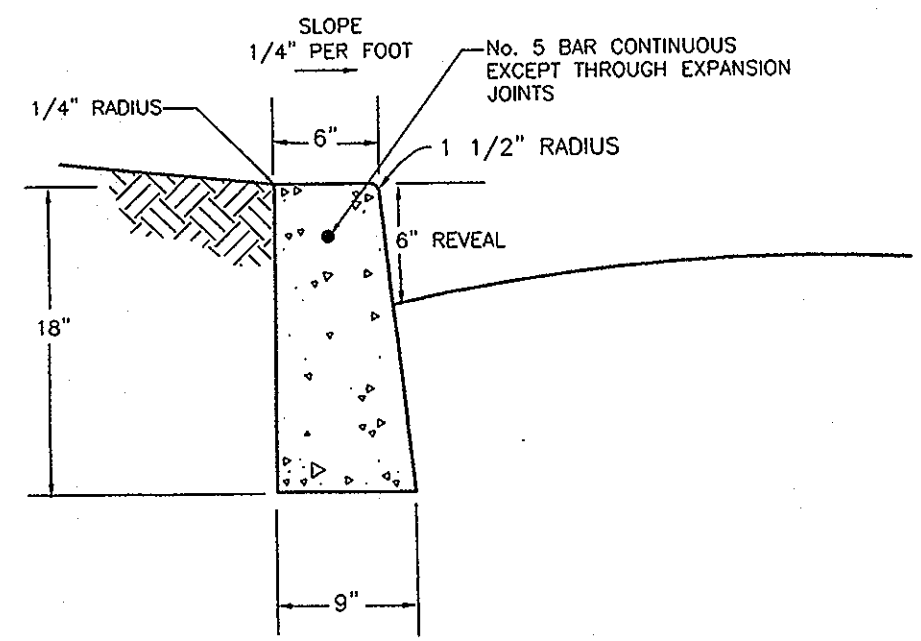
**HANDICAP CURB RAMP DETAIL
TYPE C**
N.T.S.



DETECTABLE WARNING AT CURB RAMP
NOT TO SCALE

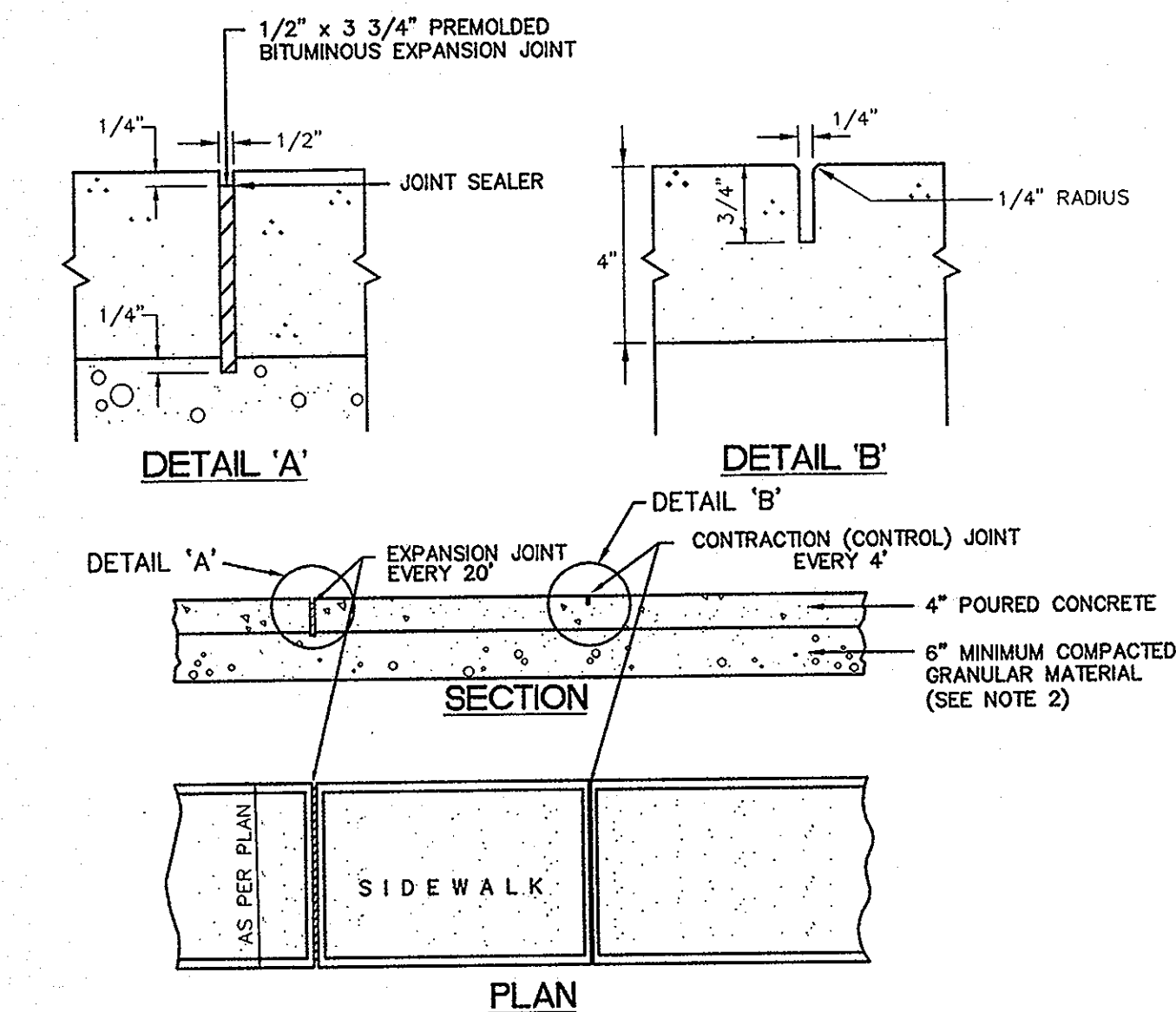


**HANDICAP RAMP DETAIL
TYPE A**
N.T.S.



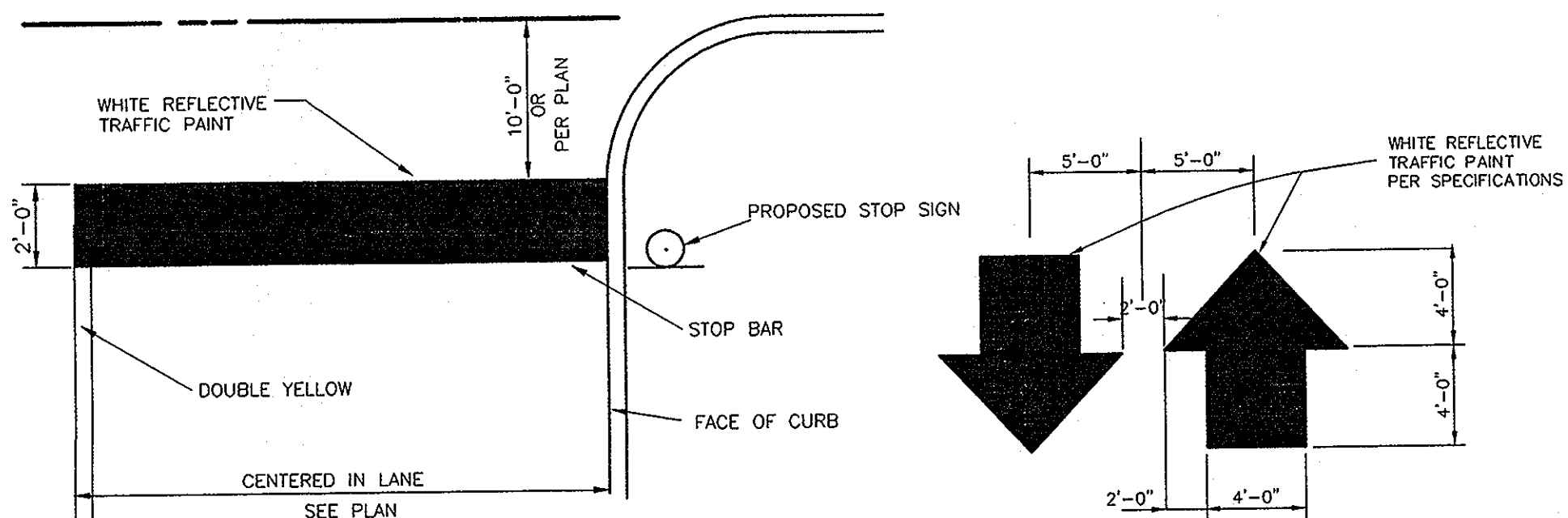
STANDARD CONCRETE CURB
N.T.S.

- NOTES:**
1. ALL CONCRETE SHALL BE ENTRAINED WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 2. FOR LOCATION OF CURB FROM PROPERTY LINE SEE STANDARD ROAD SECTION.
 3. STEEL FORMS OR EQUAL SHALL BE USED.
 4. FULL DEPTH EXPANSION JOINTS 1/2" THICK 20' O.C. SHALL BE USED.
 5. ALL CONCRETE SHALL BE TAMPED IN PLACE IN PLACE. NO HONEYCOMB SHALL BE ACCEPTED.
 6. ALL EDGES SHALL BE TOOL REQUIRED.
 7. PRUNE AND REMOVE ALL ROOTS AND OTHER UNSUITABLE MATERIALS AND BACKFILL.
 8. PRUNE AND REMOVE ALL ROOTS AND OTHER UNSUITABLE MATERIALS AND BACKFILL.
 9. CONTRACTOR MAY SUBSTITUTE WELDED WIRE MESH 6" x 6" #5 GAUGE IN PLACE OF 3 #3 BARS SUBJECT TO VILLAGE APPROVAL.
 10. TOPSOIL AND SOD MAY BE REQUIRED AS ORDERED BY ENGINEER.
 11. CONTRACTOR SHALL PROVIDE SUPPLIER AND GRADATION ANALYSIS FOR RECYCLED CONCRETE AGGREGATE FOR REVIEW AND APPROVAL BY VILLAGE ENGINEER. FIELD COMPACTION SHALL BE 95% OF DESIGN DENSITY.

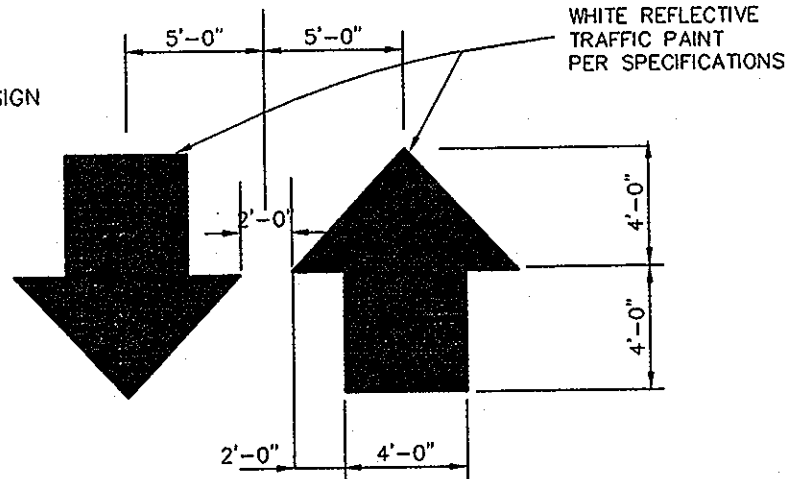


ON-SITE CONCRETE SIDEWALK DETAIL
N.T.S.

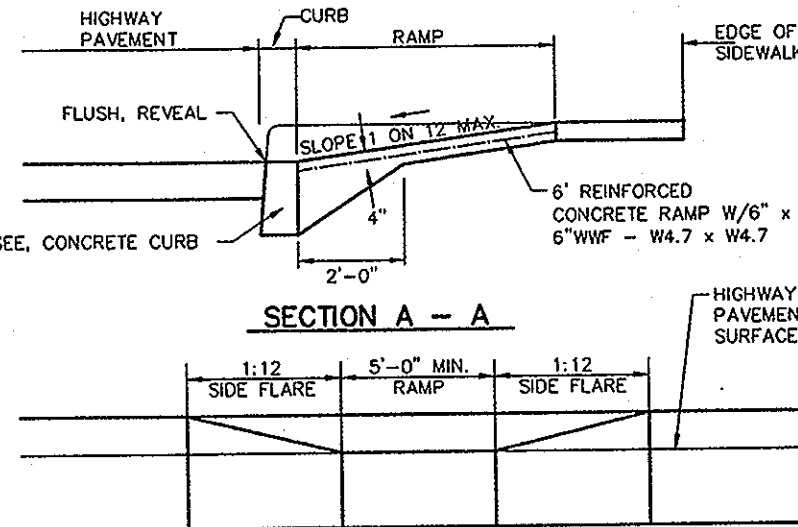
- NOTES:**
1. ALL CONCRETE SHALL BE AIR ENTRAINED WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
 2. SUBBASE SHALL BE GRANULAR WITH 12% MAXIMUM PASSING THE #20. THE SUBBASE SHALL NOT HAVE CLAYS OR ORGANIC MATERIAL.



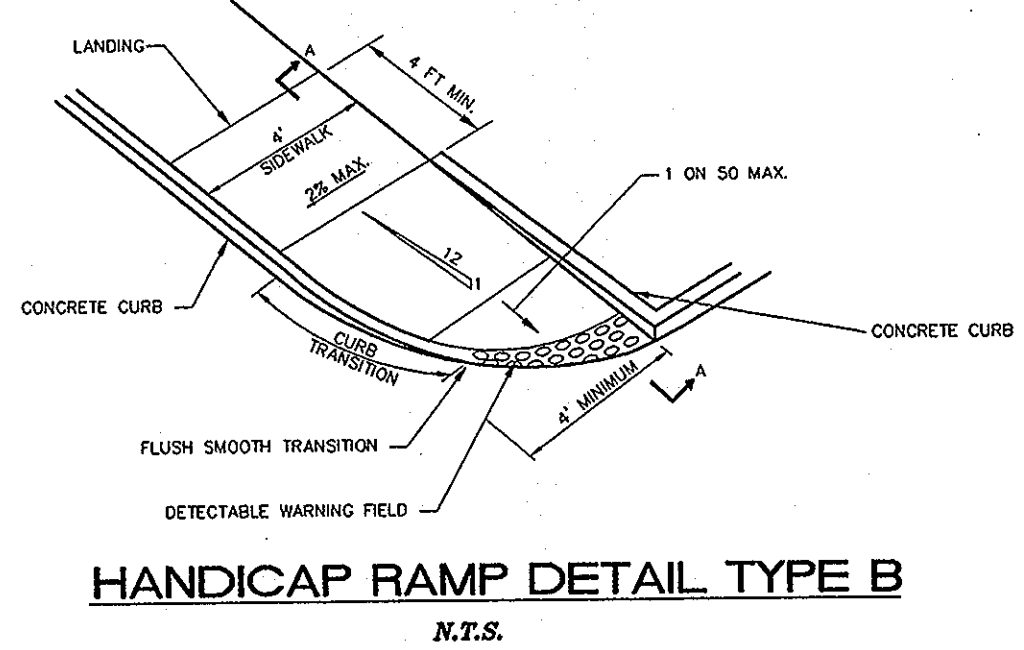
STOP BAR DETAIL
N.T.S.



VEHICLE DIRECTIONAL ARROWS
N.T.S.



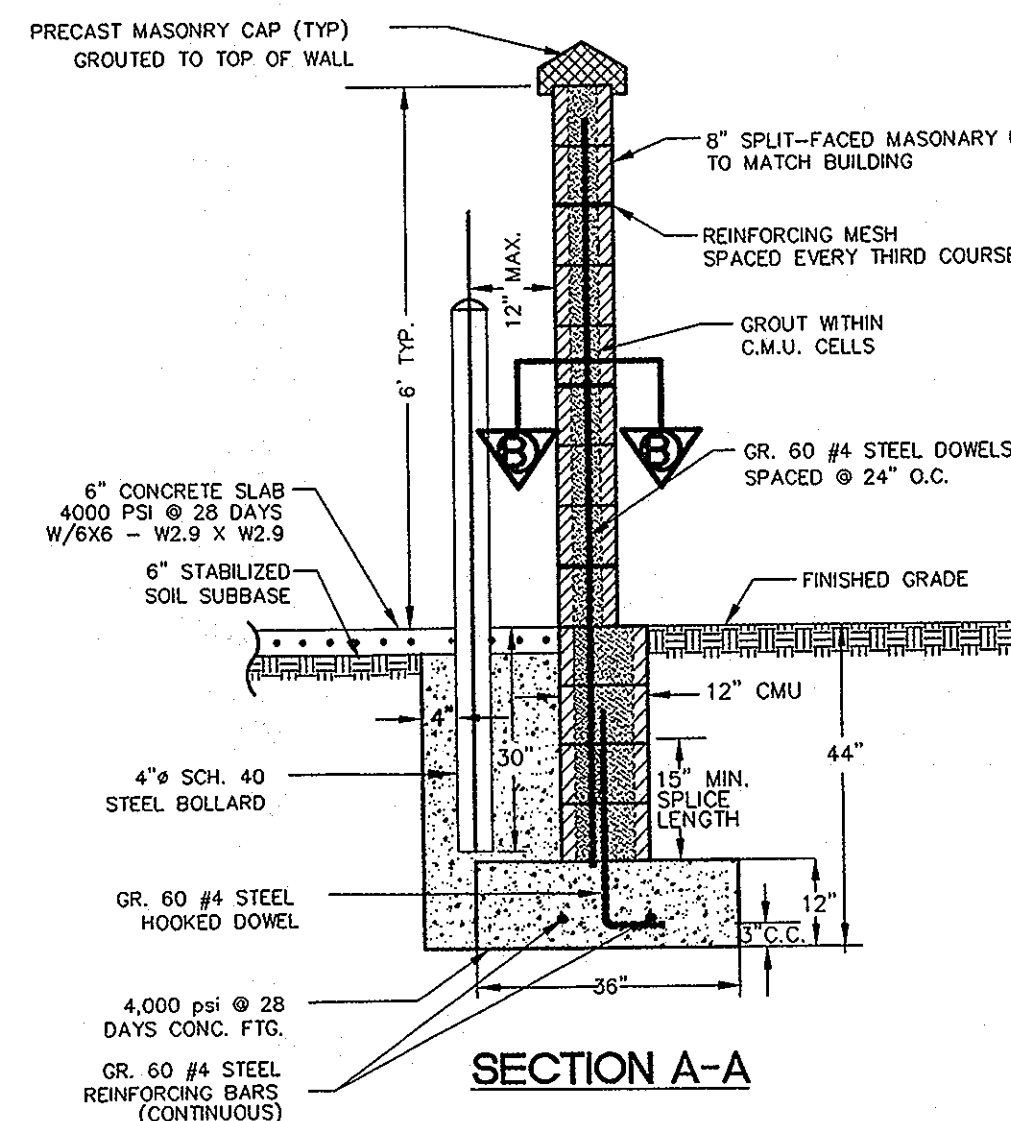
**SECTION A - A
SIDEWALK CURB RAMP DETAIL
TYPE A**
N.T.S.



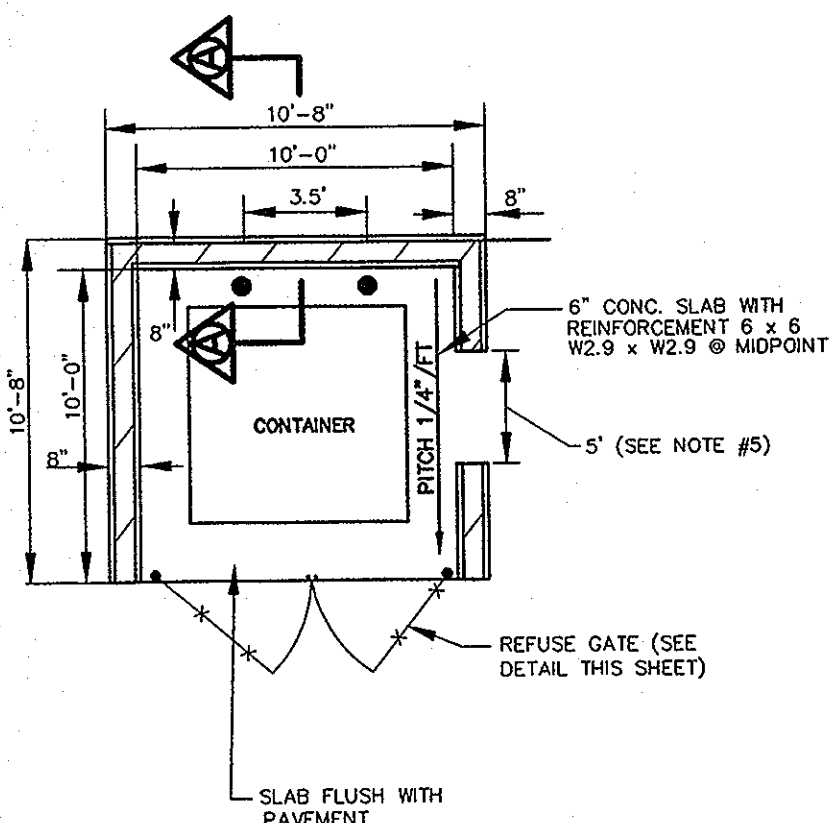
HANDICAP RAMP DETAIL TYPE B
N.T.S.

HANDICAPP RAMP NOTES TYPES A.B. + C

1. SURFACE TEXTURE OF RAMP SHALL BE DEEP GROOVED 1/2" WIDE BY 1/4" DEEP CENTERS, TRAVERSE TO THE RAMP, THROUGH THE AREA OF THE RAMP.
2. IF PEDESTRIAN ACTIVATED SIGNALS ARE REQUIRED, THESE SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
3. IF STOP SIGNS AND STOP LINES ARE REQUIRED, PLACE THE STOP SIGN AND STOP BAR IN ADVANCE OF SIDEWALK RAMP.
4. WHERE REQUIRED PROVIDE DRAINAGE CATCH BASIN UPSTREAM OF SIDEWALK RAMP AND NOT IN THE RAMP AREA.
5. THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
6. SEE CONCRETE SIDEWALK CONSTRUCTION STANDARDS FOR EXPANSION JOINT AND CONTRACTOR JOINT DETAIL.



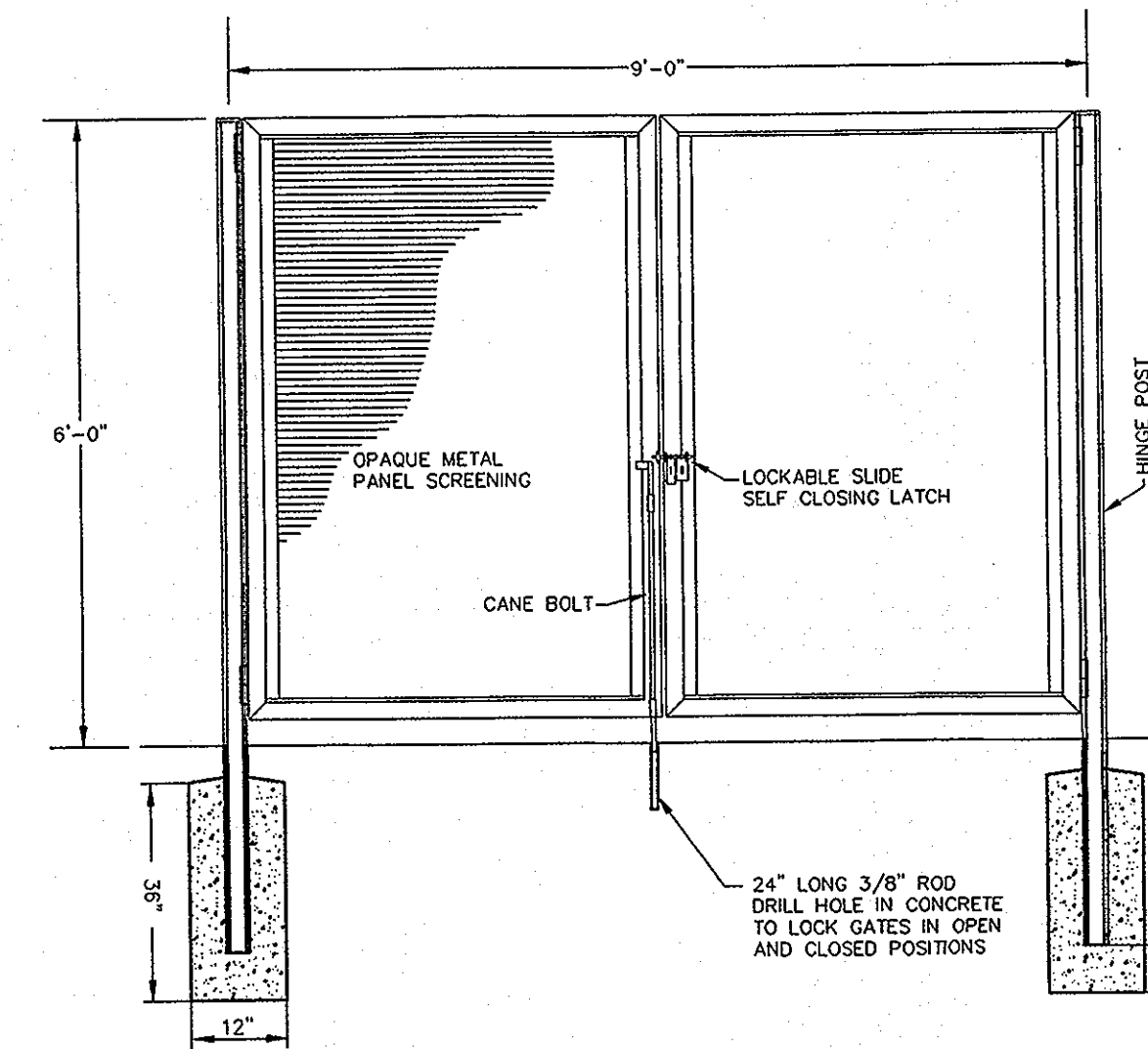
SECTION A-A



SECTION B-B

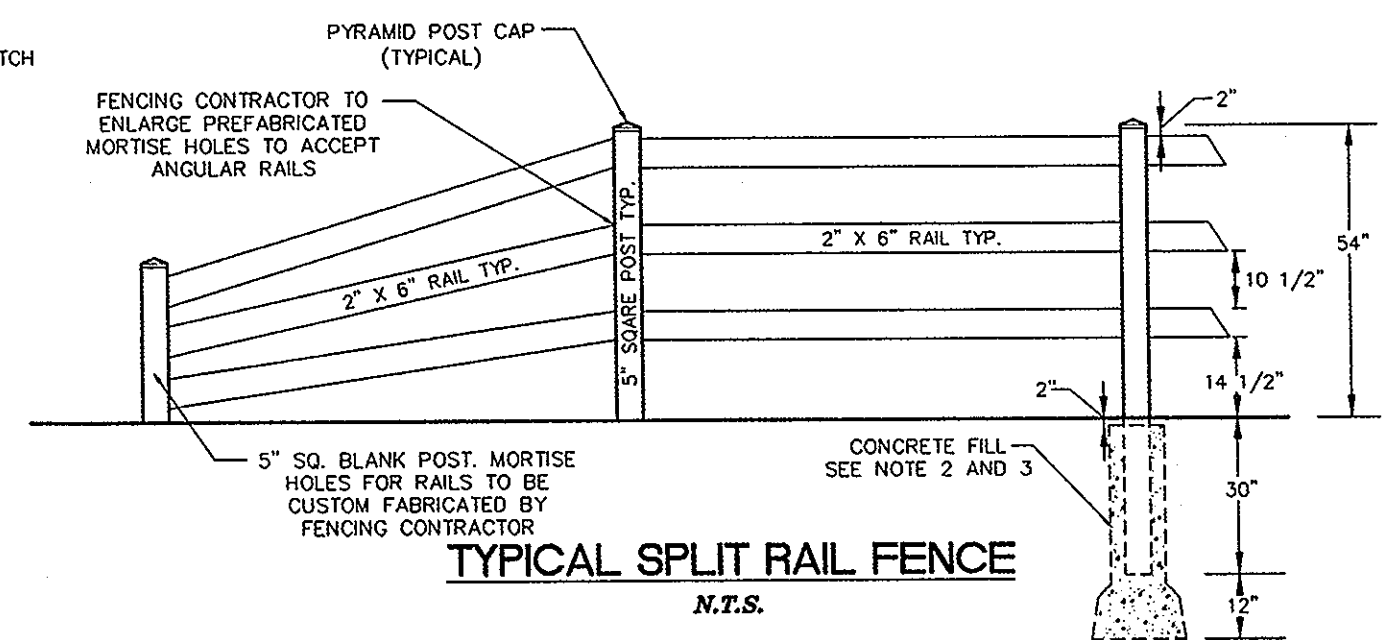
REFUSE ENCLOSURE WITH BLOCK WALL DETAIL
N.T.S.

- NOTES:**
1. C.M.U. CELLS CONTAINING STEEL REINFORCING RODS SHALL BE CLEARED OF OBSTRUCTIONS PRIOR TO GROUTING.
 2. C.M.U. CELLS CONTAINING STEEL REINFORCING RODS SHALL BE PRESSURE GROUTED FROM TOP OF FOUNDATION WALL FLUSH TO TOP OF THE MASONRY WALL.
 3. THE CONCRETE BLOCK WALL SHALL HAVE A 3" WIDE, REINFORCED CONCRETE FOOTING WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 1.5 TONS/SF.
 4. THE CONCRETE BLOCK WALL SHALL BE REINFORCED USING MASONRY REINFORCING MESH (CONTINUOUS-HORIZONTAL DIRECTION) AND #4 REINFORCING BARS (CONTINUOUS-VERTICAL DIRECTION) EMBEDDED IN THE BLOCK AND SUPPORTED WITH CONCRETE FILLING. THE REINFORCING SHALL BE A MAXIMUM OF 24" ON CENTER BOTH DIRECTIONS.
 5. CONTRACTOR TO PROVIDE 5-FOOT WIDE (MIN.) ADA COMPLIANT UNGATED SIDE ENTRANCE, INCLUDING 5-FOOT (MIN.) ACCESS WALK, FOR HANDICAP ACCESS TO DUMPSTER. CONTRACTOR AND OWNER SHALL COORDINATE ACCESS LOCATION AND DUMPSTER ENCLOSURE INTERIOR DIMENSIONS WITH REFUSE CARTER FOR ADA COMPLIANT DUMPSTER AND ACCESS.



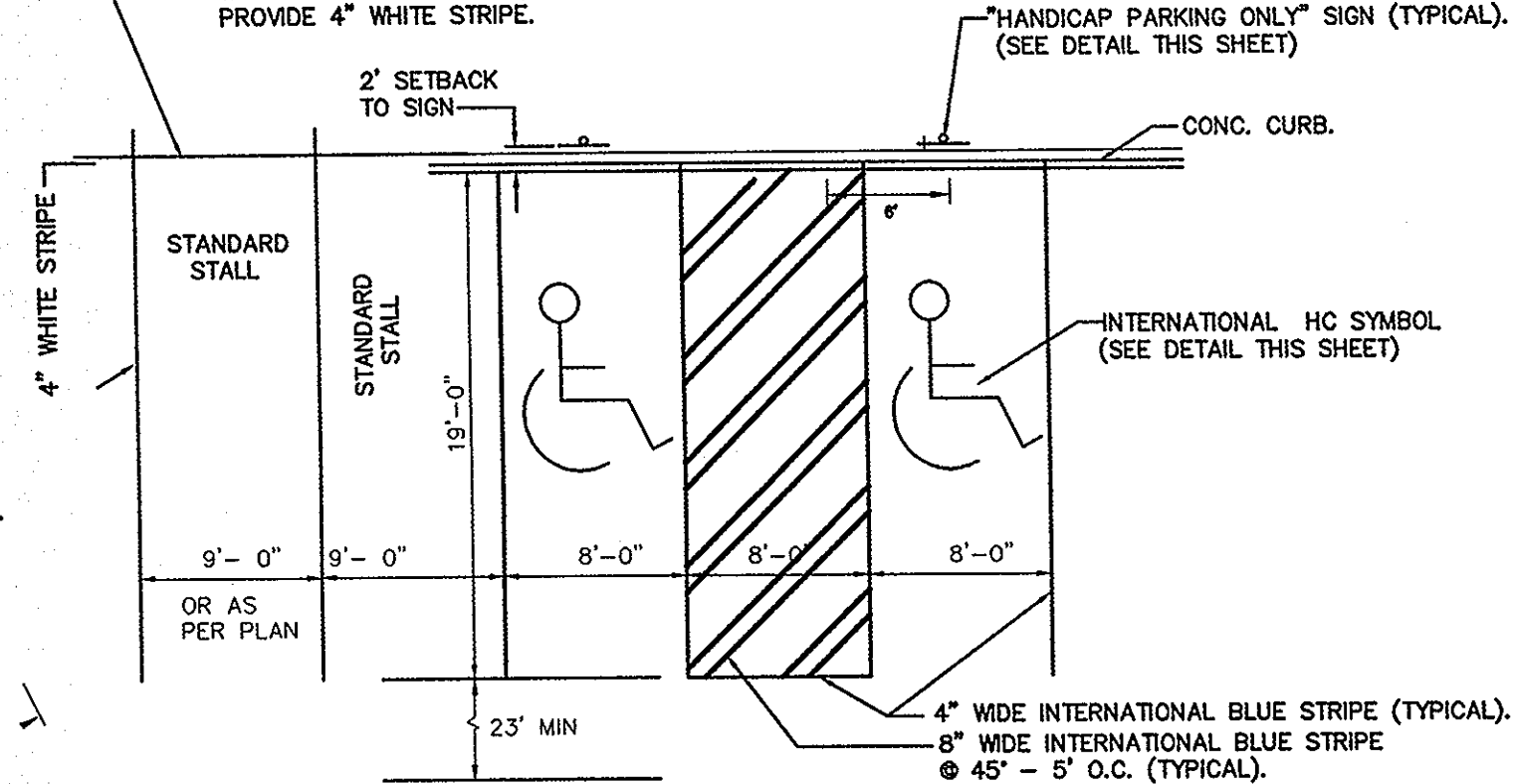
REFUSE GATE DETAIL

- NOTES:**
1. FOOTING WIDTH TO BE 4X POST WIDTH.
 2. GATES SHALL INCLUDE A SELF CLOSING MECHANISM AND LATCH.



TYPICAL SPLIT RAIL FENCE
N.T.S.

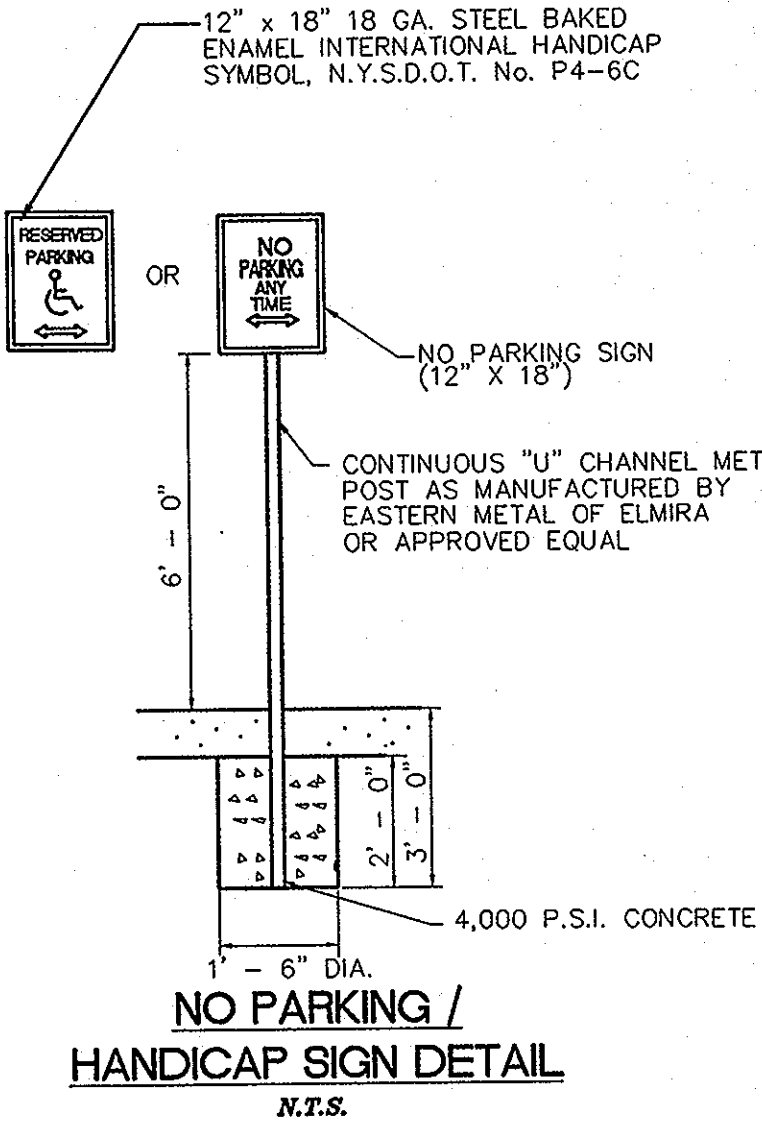
- NOTES:**
- 1) FOOTING WIDTH TO BE 2X POST WIDTH, MIN DEPTH 30"
 - 2) END AND CORNER POST TO BE CONCRETE FILLED PER MANUFACTURER'S DIRECTIONS
 - 3) LINE POST TO BE CONCRETE FILLED TO FINISH GRADE
 - 4) POST SPACING TO BE MODIFIED TO MATCH FENCE LENGTH DIMENSION
 - 5) SLOPE RAILS AND LAST SECTION WHERE NOTED ON PLANS. POST LOCATED PRIOR TO SLOPED RAILS TO BE CONSIDERED END POST AND TO BE CONCRETE FILLED



PARKING AREA STRIPING AND ALIGNMENT DETAIL
N.T.S.

- NOTES:**
- 1) IF STANDARD STALL IS ADJACENT TO HANDICAP HATCHED AISLE, THE STANDARD STALL IS PERMITTED TO BE 8' IN WIDTH; OTHERWISE ALL STALLS SHALL BE 9' IN WIDTH UNLESS NOTED ON PLAN.
 - 2) ALL PARKING STALLS AND TRAFFIC MARKINGS SHALL RECEIVE TWO COATS OF AN ACCEPTABLE PAVEMENT MARKING PAINT, APPLIED TO A MINIMUM NET FILM THICKNESS OF 15 MILS.
 - 3) STANDARD PARKING STALL LINES SHALL BE WHITE 4 INCH WIDE STRIPES. HANDICAPPED STALLS SHALL BE DELINEATED IN BLUE.
 - 4) A HANDICAPPED PARKING SIGN (P4-6C) SHALL BE PROVIDED FOR EACH HANDICAPPED SPACE INSTALLED. (SEE DETAIL THIS SHEET)
 - 5) THE PAVEMENT MARKINGS SHALL BE MAINTAINED PERMANENTLY ON THE PAVEMENT SURFACE IN THE CONFIGURATION SHOWN ON THE APPROVED PLAN.

**INTERNATIONAL
HANDICAP SYMBOL**
N.T.S.



**NO PARKING /
HANDICAP SIGN DETAIL**
N.T.S.

NO.	DATE	REVISION	BY
4	09-02-08	REVISED PER DES COMMENTS FOR PERIOD ENDING 08-15-08	JCB
3	04-09-08	NO REVISION THIS SHEET	AV
2	1-16-08	NO REVISION THIS SHEET	WCH
1	12-07-07	NO REVISION THIS SHEET	JCB
No.	DATE	REVISION	BY

	SITE DETAILS		DWN BY: JCB
	ISLANDIA VILLAGE CENTER		DSGN BY: WH
	SITUATED AT		DATE: 9-1-07
	THE INCORPORATED VILLAGE OF ISLANDIA		CHKD BY: TCD
	TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK		DATE: 10-2-07
	DISTRICT 604, SECTION 001, BLOCK 01, LOTS 7, 8, 9, AND 10		JOB No: 97086
	NELSON & POPE		FILE No:
	ENGINEERS & SURVEYORS		CADD: 97086E_SF
	572 WALT WHITMAN ROAD, MELVILLE, NY 11747-2888		SCALE: AS SHOWN
	(631) 427-5565 FAX (631) 427-5620 www.nelson-and-pope.com		SHEET: 19 OF 20

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